

Applicant contact details

Title	Mr
First given name	Kelly
Other given name/s	
Family name	McNicol
Contact number	██████████
Email	██████████
Address	████████████████████
Application on behalf of a company, business or body corporate	Yes
ABN	██████████
ACN	
Name	The Trustee for SKM Planning Trust
Trading name	████████████████████
Is the nominated company the applicant for this application	Yes

Owner/s of the development site

Owner/s of the development site	There are one or more owners of the development site and the applicant is NOT one of them
Owner #	1
Title	Mr
First given name	Robert
Other given name/s	
Family name	Capello
Contact number	██████████
Email	██████████
Address	████████████████████
Owner #	2
Title	Mrs
First given name	Maxine
Other given name/s	
Family name	Capello
Contact number	██████████
Email	██████████
Address	████████████████████
Owner #	3
Title	Mr
First given name	Giuseppe
Other given name/s	
Family name	Lanza
Contact number	██████████
Email	██████████
Address	████████████████████
Owner #	4
Title	Ms
First given name	Samantha
Other given name/s	

Family name	Marcus
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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Developer details

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

Development details

Application type	Modification Application
On what date was the development application to be notified determined	28/10/2021
Type of modification requested	S4.55(1A) - Modification involving minimal environmental impact, where the development will remain substantially the same as the development that was originally approved
Development Application number of the consent to be modified	
Description of the proposed modification	refer to environmental assessment
Was the DA applied for via the NSW Planning Portal?	Yes
Please provide portal application number (PAN)	PAN-104992
Site address #	1
Street address	206 MELBOURNE STREET MULWALA 2647
Local government area	FEDERATION
Lot / Section Number / Plan	351/-/DP239279 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP Corowa Local Environmental Plan 2012 Land Zoning R1: General Residential Height of Building 9 m Floor Space Ratio (n:1) NA Minimum Lot Size 550 m ² Heritage NA Land Reservation Acquisition NA Foreshore Building Line

Proposed development

Selected common application types	Erection of a new structure Subdivision
Selected development types	Residential Accommodation Dual occupancy Dual occupancy (detached)
Description of development	Two Lot Community Title Subdivision, construction of an additional dwelling and alterations and additions to the existing dwelling
Is the development proposed to be build-to-rent housing?	No
Does the development include affordable housing?	No
Dwelling count details	
Number of dwellings / units proposed	1
Number of storeys proposed	
Number of pre-existing dwellings on site	1
Number of dwellings to be demolished	0
Number of proposed occupants	
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	0
Total site area (m2)	0
Total net lettable area (m2)	
Cost of development	
Estimated cost of work / development (including GST)	\$603,000.00
Capital Investment Value (CIV)	\$548,181.82
Do you have one or more BASIX certificates?	Yes
BASIX Certificate Number	1205625S_04
Subdivision	
Number of existing lots	1
Type of subdivision proposed	Community Title
Number of proposed lots	3
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	No
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	Development that is wholly residential

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

Company Name	SKM Planning Pty Ltd
ABN	
ACN	
Trading Name	
Email address	██████████
Billing address	████████████████████

Application documents

The following documents support the application.

Document type	Document file name
Architectural Plans	DA 2021-135 - Modification Application 2 - 206 Melbourne - Architectural Plans
BASIX certificate	DA 2021-135 - Modification Application 2 - 206 Melbourne - BASIX revised
Other	DA 2021-135 - Modification Application 2 - 206 Melbourne - Sewer Pump Plans DA 2021-135 - Modification Application 2 - 206 Melbourne - Existing Development Consent
Preliminary Engineering Drawings	DA 2021-135 - Modification Application 2 - 206 Melbourne - Civil Drawings
Site Plans	DA 2021-135 - Modification Application 2 - 206 Melbourne - Architectural Plans
Statement of environmental effects	DA 2021-135 - Modification Application 2 - 206 Melbourne - Environmental Assessment

Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I agree to pay any required NSW Planning Portal Service Fee/s specified under Schedule 4 of the Environmental Planning and Assessment Regulation 2021 to the Department of Planning, Housing and Infrastructure.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the	



Locality

Subject Lot

General Notes

- 1 - Dimensions of property boundaries & position of building to be verified by a registered surveyor
- 2 - These drawings are to be read in conjunction with engineer's specifications
- 3 - All the materials and the standard of work shall be in accordance with the recognized industry standards
- 4 - All dimensions, window and door sizes are to be verified before commencement of work
- 5 - The contractor shall observe and comply with the provisions of all relevant acts, ordinances, regulations, bylaws, orders and rules and all requirements of any authority that are applicable to the works
- 6 - Method of termite control is to be in accordance with council requirements
- 7 - Verify position of electricity supply and connect power to main switch board in accordance with energy provider's specifications
- 8 - Verify position of water meter with council

Stormwater Drainage

- 1 - Provide underground stormwater as required in accordance with Council requirements and connect to:
 - a) The street frontage via a kerb inlet addapter or
 - b) A rear of lot drainage pit
- 2 - Install 100 dia PVC downpipes as required
- 3 - All stormwater pipes to be 100 PVC UNO

Rainwater Tank

- 1 - Provide rainwater tank in accordance with the requirements of BASIX
- 2 - Install tanks in accordance with Council 's Urban Water Tanks Policy.
- 3 - The overflow from tanks must be connected to stormwater system for the site
- 4 - Where tank water is proposed to be connected to the same plumbing as Council 's reticulated water supply, a backflow prevention device must be fitted in accordance with Council requirements.
- 5 - Inshore Tanks are fitted with a gutter flush, or first flush system to prevent foreign materials entering the tank.
- 6 - Inshore tanks located along a side boundary do not obstruct accessseets and other public places, and where possible, should be separate from private open space. Inshore a minimum of 8 lineal metres of line is provided.
- 3 - Provide a lockable mail box to the primary street frontage adjacent to the driveway

Landscape Notes

- 1 - Specific native plant selection to be in accordance with Council's list of local native plant species
- *Planting requirements for new dwellings:
 - 2 - Garden beds to be covered with 100 thick pine mulch
 - 3 - All plants and lawn areas to have automatic underground drip and sprinkler irrigation system
 - 4 - Plant beds against lawn areas to be bordered with continuous formed concrete edging or pavers
 - 5 - Road reserve to be planted with lawn
 - 6 - All trees & shrubs to be selected by others. Inshore plant species selected;
 - a) Are appropriate for the climate, soil, aspect and drainage of the locality;
 - b) Incorporate drought-resistant and native plant species wherever possible or appropriate;
 - c) do not, and will not in the future interfere with underground and overhead utilities;
 - 7 - Landscaped area should establish adequate drainage, including the retention of stormwater on site and prevention of discharge runoff onto adjoining properties"

Fencing

- 1 - Provide "Colorbond Neaterscreen" (1.8M high) panel fence to side boundaries from building line to rear boundary
- 2 - Provide "Colorbond Neaterscreen" (1.8M high) panel fence to rear boundary
- 3 - Provide "Modwood", or similar, slated gate with steel frame (1.8M high) to sides of dwelling.

Site Facilities

- 1 - Store Waste and Recycling bins on side or rear boundaries
- 2 - Provide fixed outdoor clothes line, ensure access to winter sunlight and install in a secure and convenient location, which is adequately screened from streets and other public places, and where possible, should be separate from private open space. Inshore a minimum of 8 lineal metres of line is provided.
- 3 - Provide a lockable mail box to the primary street frontage adjacent to the driveway

Villa 1 BASIX Requirements

Builder is to ensure the building meets all requirements of the BASIX certificate issued with these plans, including the following:

Water Commitments

- 1 - Area of native vegetation = 17 sq m
- 2 - Shower heads to have minimum rating of 3 star (>= 9 L/min)
- 3 - Toilet flushing system to have a minimum rating of 4 star
- 4 - Kitchen taps are to have a minimum rating of 4 star
- 5 - Basin and vanity taps are to have a minimum rating of 4 star

Thermal comfort commitments

- 1 - External walls to be insulated to achieve a minimum R3.6 including construction
- 2 - Internal garage wall to be insulated to achieve a minimum R1.2 including construction
- 3 - Ceiling to be insulated to achieve a minimum R4.5
- 4 - Ensure all windows and glazed doors are in accordance with the window schedule (min)

Energy commitments

- 1 - Hot water system to be gas instantaneous with a performance of 6 stars
- 2 - Provide 1 phase reverse cycle air conditioning with EER greater than 3.5 and COP greater than 4.0 and zoned between bedrooms & living rooms
- 3 - Provide a ceiling fan to bedroom 1
- 4 - Provide a gas cooktop & electric oven
- 5 - Provide a fixed outdoor clothes drying line
- 6 - Provide individual fan, not ducted with with manual switch on/off to, Kitchen



Mulwala Villas

Proposed New Home

Lot 351 DP 239279
206 Melbourne Street Mulwala NSW

R&M Cappello and G
Lanza & S Marcus

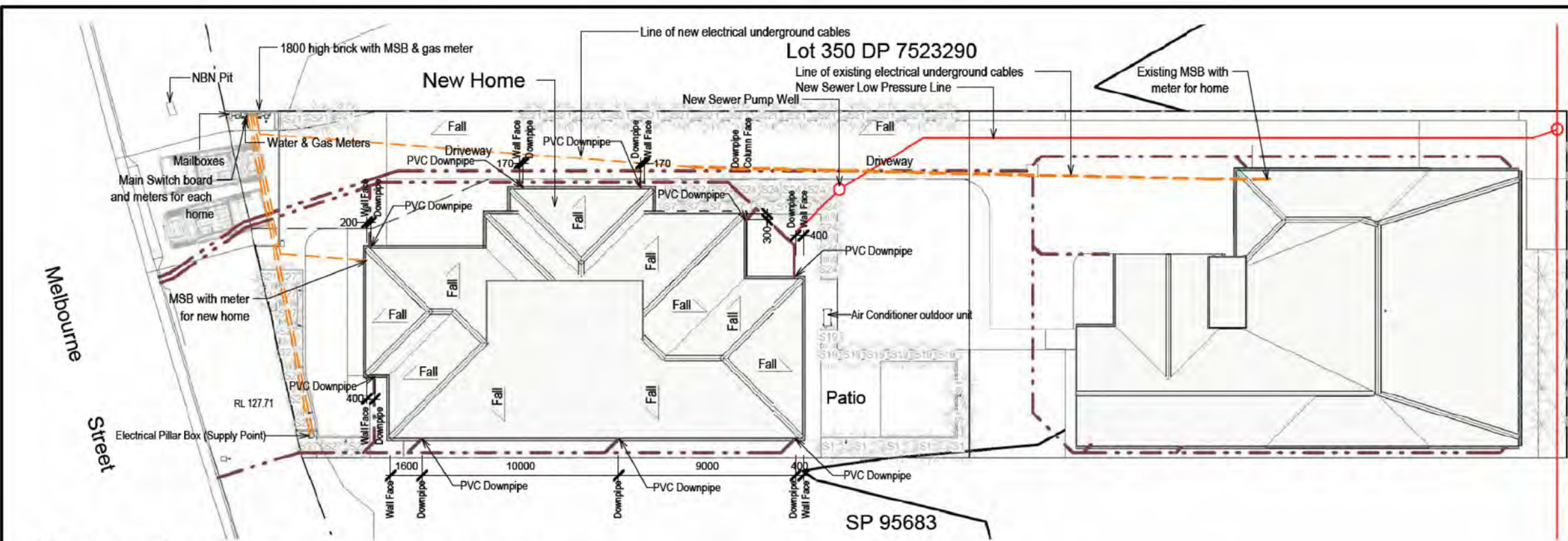
Designed



design@jzmanagement.com.au
(Zep) 0408 696 458 - (James) 0418 623 100

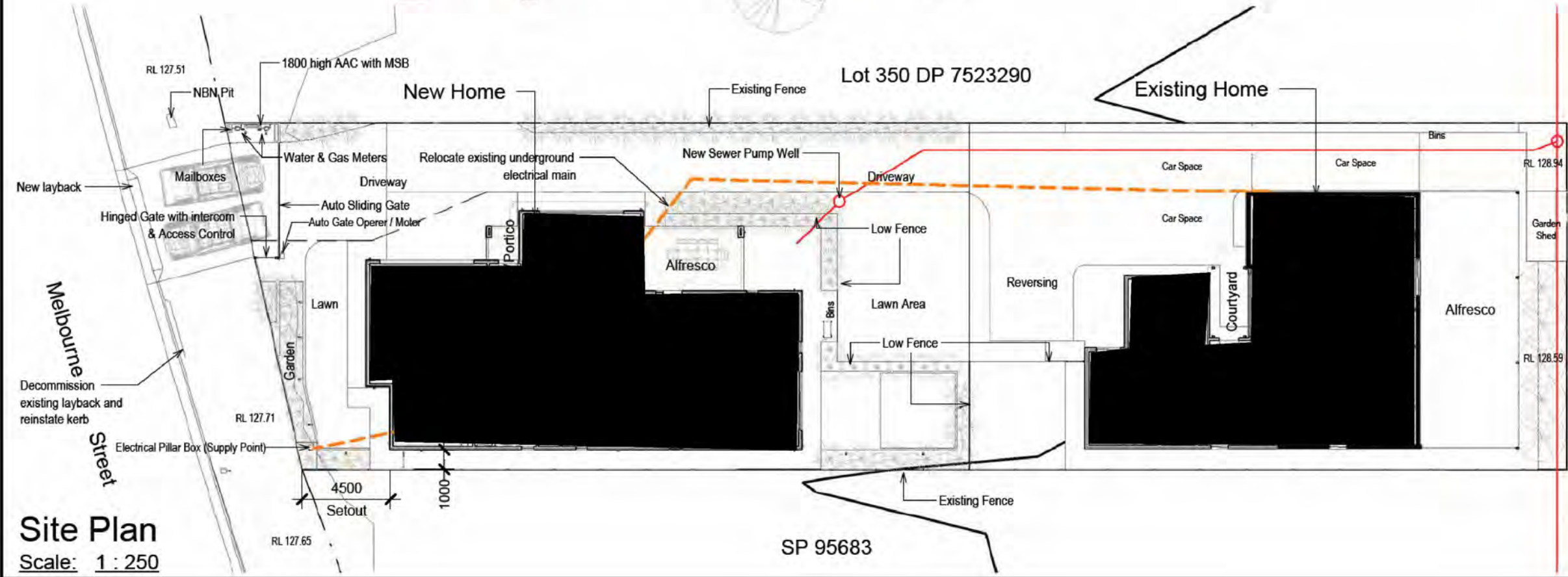
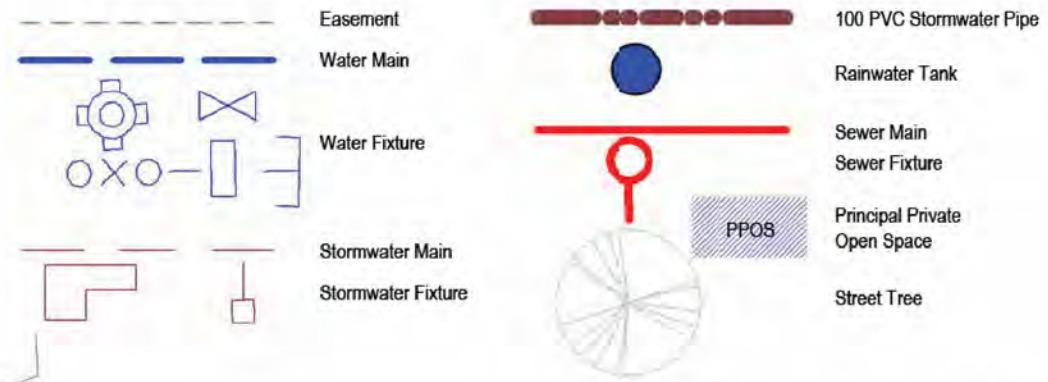
Drawing Schedule

Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
A111	Site Plan	H	Issued for Tender	1/3/2023
A112	Fence & Gate Details	I	External Cladding Revised	18/11/2024
A113	Landscape Plan	H	Issued for Tender	1/3/2023
A121	Floor Plan	I	External Cladding Revised	18/11/2024
A131	Elevations	I	External Cladding Revised	18/11/2024
A132	Elevations	I	External Cladding Revised	18/11/2024
A141	Sections	I	External Cladding Revised	18/11/2024
A142	Details	I	External Cladding Revised	18/11/2024
A151	Electrical Layout	H	Issued for Tender	1/3/2023
A152	Light Selection	H	Issued for Tender	1/3/2023
A153	Lighting Layout	H	Issued for Tender	1/3/2023
A154	Lighting Setout	H	Issued for Tender	1/3/2023
A161	Internal Elevations - 1	H	Issued for Tender	1/3/2023
A162	Internal Elevations - 2	H	Issued for Tender	1/3/2023
A163	Internal Elevations - 3	H	Issued for Tender	1/3/2023
A164	Internal Elevations - 4	H	Issued for Tender	1/3/2023
A171	Plumbing Fixtures Schedule	H	Issued for Tender	1/3/2023
A172	Door & Door Furniture Schedule	H	Issued for Tender	1/3/2023
A173	Electrical Fixturess Schedule	H	Issued for Tender	1/3/2023
A174	Lighting Fixturess Schedule	H	Issued for Tender	1/3/2023
A175	Tile Schedule	H	Issued for Tender	1/3/2023
A181	External Finishes	H	Issued for Tender	1/3/2023
A182	Internal Finishes	H	Issued for Tender	1/3/2023



Stormwater Plan
Scale: 1 : 250

Site Plan Legend



Site Plan
Scale: 1 : 250

Project
Proposed New Home

Project Address
**Lot 351 DP 239279
206 Melbourne Street
Mulwala NSW**

Client
**R&M Cappello and G
Lanza & S Marcus**

Occupancy
Mulwala - Lot 2

Drawing Title
Site Plan

Job No: MUL0920	Drawing No: A111
Date: 27/9/2020	Scale: 1 : 250
Designed: G Lanza	Page Size: A3
Drawn: G Lanza	Checked: G Lanza

Irrigated Landscaped Area

Front Garden Area	16.60
Rear Lawn Area 1	58.13
Front Lawn Area	23.64
Rear Garden 1	18.02
Rear Garden 2	14.72
Rear Lawn Area 2	15.60
Side Garden	6.16
Grand total	152.87

Revision Number	Revision Date	Revision Description
A	8/1/2021	Issued for Discussion
G	17/7/2023	Issued for review prior to construction
H	1/3/2023	Issued for Tender

Project
Proposed New Home

Project Address
**Lot 351 DP 239279
 206 Melbourne Street
 Mulwala NSW**

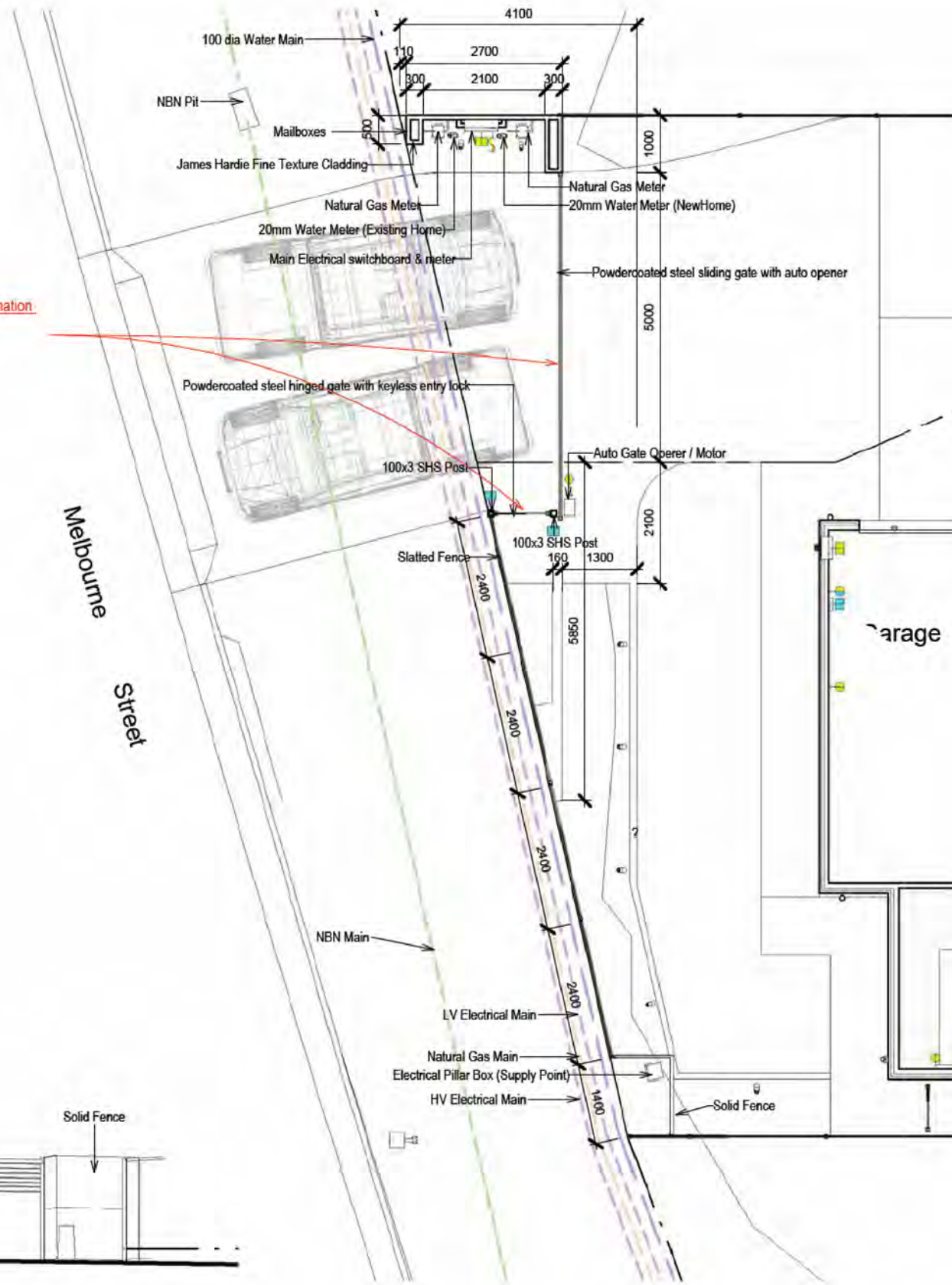
Client
**R&M Cappello and G
 Lanza & S Marcus**

Occupancy
Mulwala - Lot 2

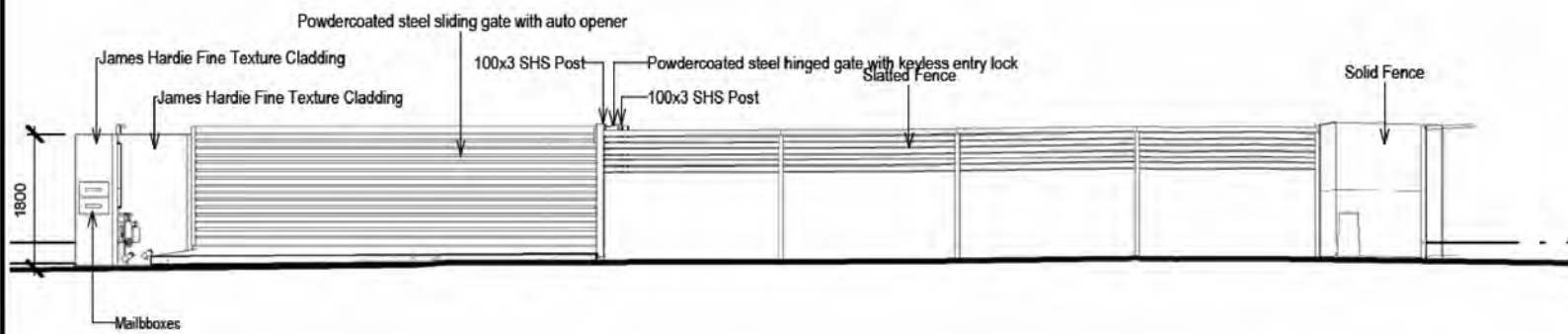
Drawing Title
Fence & Gate Details

Job No: MUL0920	Drawing No: A112
Date: 27/9/2020	Scale: 1 : 100
Designed: G Lanza	Page Size: A3
Drawn: G Lanza	Checked: G Lanza

Revision Since Previous Determination
 (Details of Items Amended)
 8 - Security Gates Added
 9 - Driveway Amended



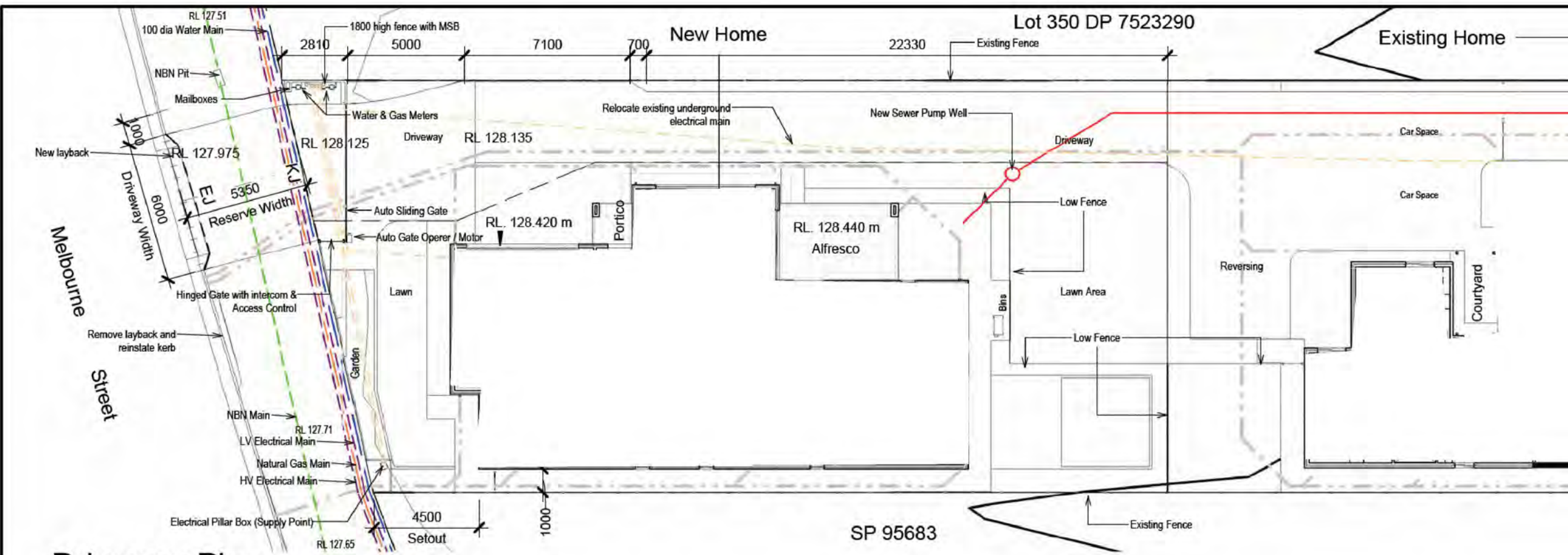
Description	Mark	Manufacturer	Model	Length	Panels
Slatted Fence		Slenderline	Custom from 3x600mm Slat Kit	11.6	4.8
Slatted Fence		Slenderline	Custom from 3x600mm Slat Kit	16.3	6.8
Solid Fence		Slenderline	2400 x 1800mm Modular Fencing Bay Kit	2.3	1.0
Slatted Fence		Slenderline	2400 x 1800mm Modular Fencing Bay Kit including Slats	9.6	4.0



Street Elevation
 Scale: 1 : 100

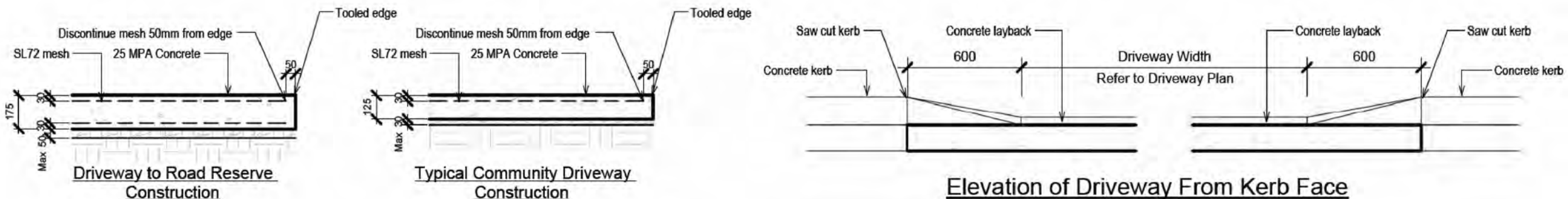
Front Gate Setout
 Scale: 1 : 100

Revision Number	Revision Date	Revision Description
G	17/7/2023	Issued for review prior to construction
H	1/3/2023	Issued for Tender
I	18/11/2024	External Cladding Revised



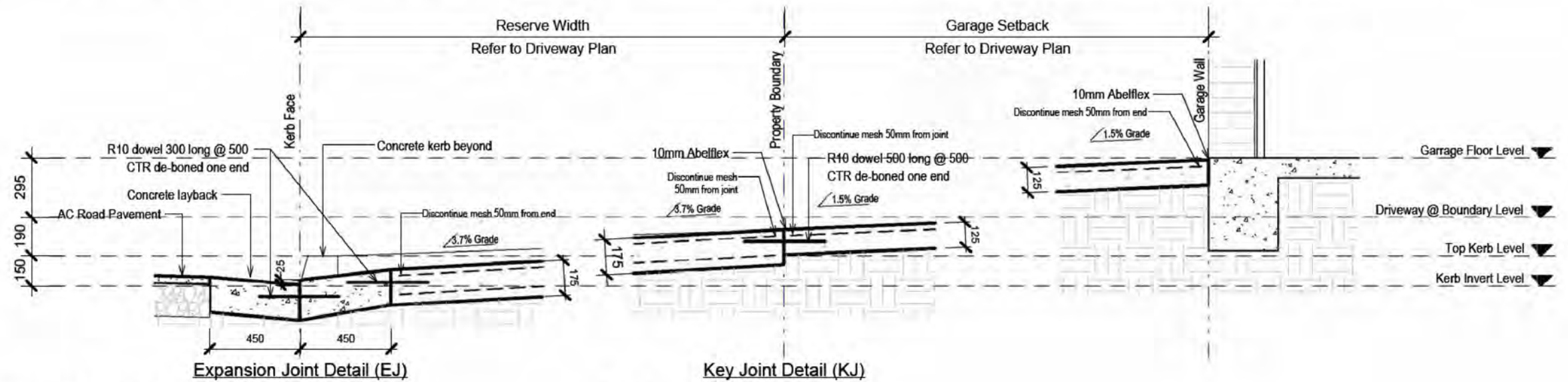
Designed JZ MANAGEMENT design@jzmanagement.com.au (Zep) 0408 696 458 - (James) 0418 623 100		
Project Proposed New Home		
Project Address Lot 351 DP 239279 206 Melbourne Street Mulwala NSW		
Client R&M Cappello and G Lanza & S Marcus		
Occupancy Mulwala - Lot 2		
Drawing Title Driveway Plan		
Job No: MUL0920	Drawing No: A115	
Date: 27/9/2020	Scale: As indicated	Page Size: A3
Designed: G Lanza	Drawn: G Lanza	Checked: G Lanza

Driveway Plan
Scale: 1 : 200



Driveway Plan Legend
TKL Top of Kerb Level
BL Boundary Level
GL Garage Floor Level
KJ Key Joint
EJ Expansion Joint

Note:- Construct Driveway from 125 thick 25 MPA concrete, with SL72 mesh (top) having 30mm (max) cover on 30mm cracker dust base and provide Expansion & Key Joints as detailed



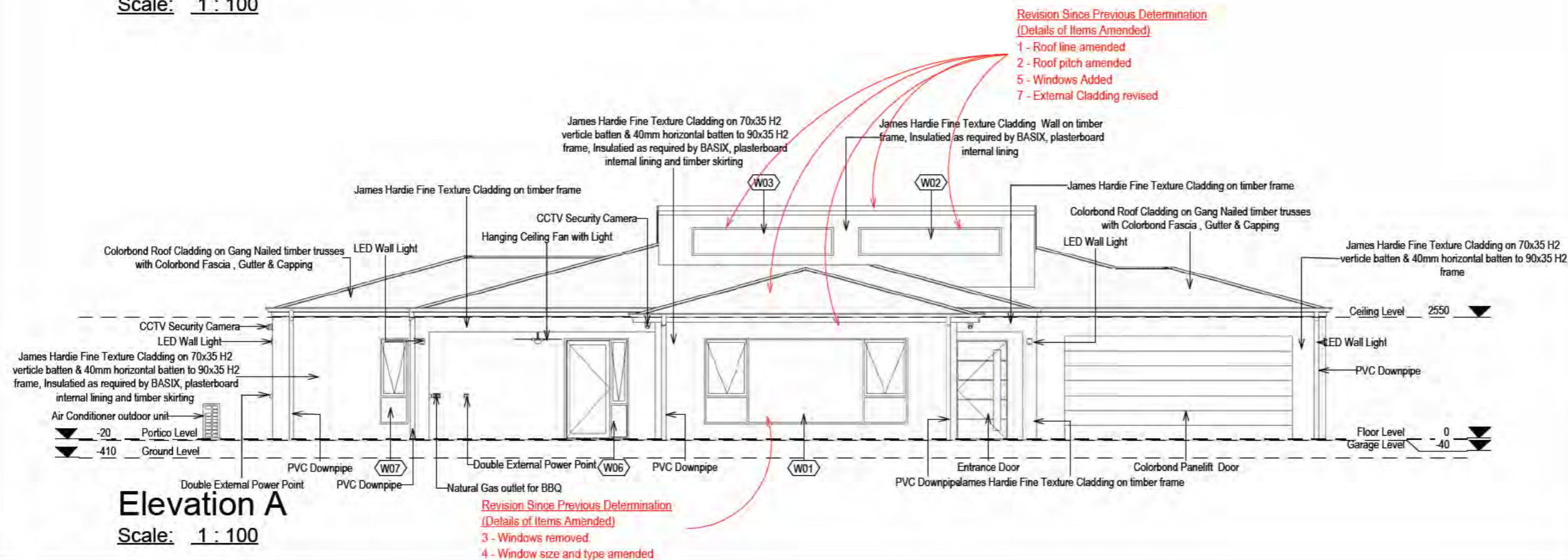
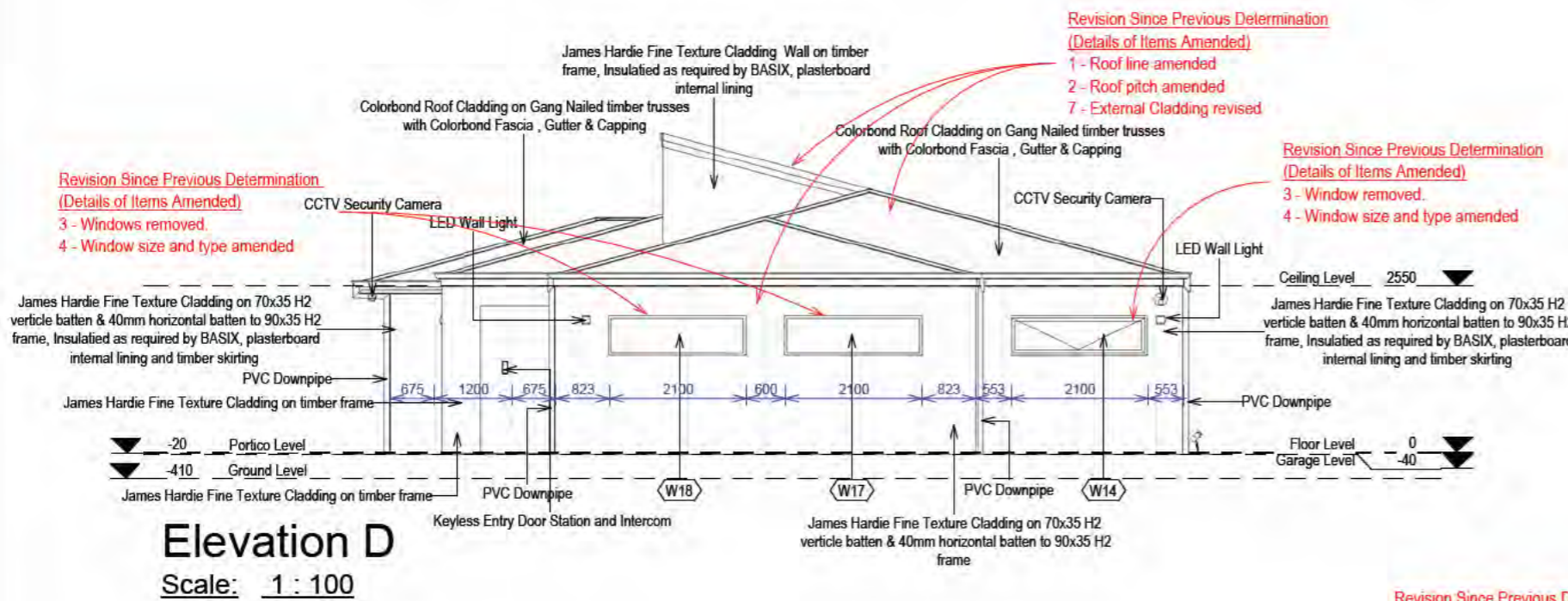
Driveway Details
Scale: 1 : 25

Revision Number	Revision Date	Revision Description

Job No: MUL0920	Drawing No: A131
Date: 27/9/2020	Scale: 1 : 100
Designed: G Lanza	Page Size: A3
Drawn: G Lanza	Checked: G Lanza

Mark	Location	Remarks	Height	Width	Glazing Area	Head Height	Material	Glazing	Window Style
W01	Kitchen	North	1800	4300	7.74	2100	Aluminium	Single Clear	Awning Window
W02	Living	North	600	3000	1.80	1900	Aluminium	Single Clear	Fixed Window
W03	Living	North	600	3000	1.80	1900	Aluminium	Single Clear	Fixed Window
W05	Dining	East	2100	3000	6.30	2100	Aluminium	Single Clear	Sliding Door
W06	Laundry	North	2100	1350	2.84	2100	Aluminium	Single Clear	Hinged Door
W07	Bed 4	North	1800	600	1.08	2100	Aluminium	Single Clear	Awning Window
W08	WIR	East	1800	600	1.08	2100	Aluminium	Single Clear	Awning Window
W09	Bed 1	East	2100	3000	6.30	2100	Aluminium	Single Clear	Sliding Door

Mark	Location	Remarks	Height	Width	Glazing Area	Head Height	Material	Glazing	Window Style
W10	Ensuite	South	1800	600	1.08	2100	Aluminium	Single Frosted	Awning Window
W11	Bed 2	South	1800	600	1.08	2100	Aluminium	Single Clear	Awning Window
W12	WC	South	900	600	0.54	2100	Aluminium	Single Frosted	Awning Window
W13	Bath	South	1800	600	1.08	2100	Aluminium	Single Frosted	Awning Window
W14	Bed 3	West	600	2100	1.26	2100	Aluminium	Single Clear	Awning Window
W17	Garage	West	600	2100	1.26	2100	Aluminium	Single Clear	Fixed Window
W18	Garage	West	600	2100	1.26	2100	Aluminium	Single Clear	Fixed Window
Grand total					27550	36.50			



Revision Number	Revision Date	Revision Description
A	8/1/2021	Issued for Discussion
B	31/1/2021	Issued for Prelodgement Meeting
C	27/3/2021	Upper Level Removed
D	3/9/2021	Room Layout Revised
E	24/9/2022	Building fabric revised & notes added
F	5/7/2023	General Revisions as Marked
G	17/7/2023	Issued for review prior to construction
H	1/3/2023	Issued for Tender
I	18/11/2024	External Cladding Revised

Project
Proposed New Home

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Client
**R&M Cappello and G
 Lanza & S Marcus**

Occupancy
Mulwala - Lot 2

Drawing Title
Elevations

Job No: MUL0920 Drawing No: A132

Date: 27/9/2020 Scale: 1 : 100 Page Size: A3

Designed: G Lanza Drawn: G Lanza Checked: G Lanza

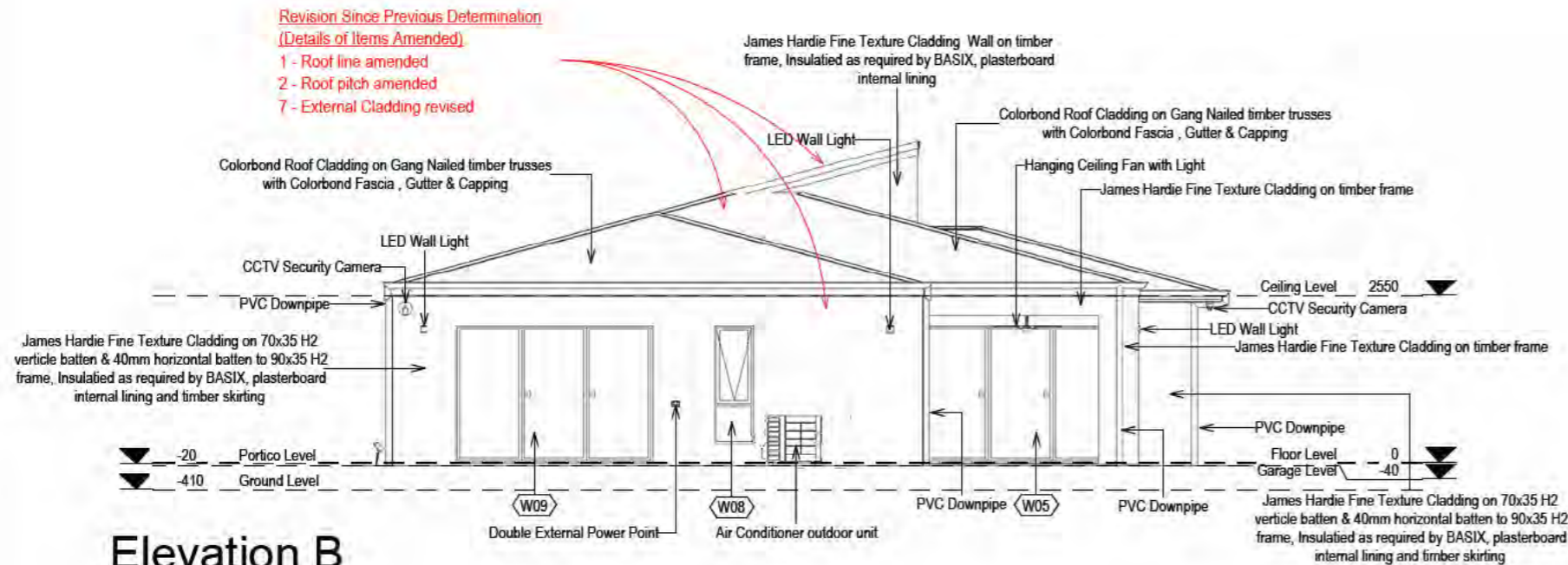
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D	3/9/2021	Room Layout Revised
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F	5/7/2023	General Revisions as Marked
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Window Schedule.

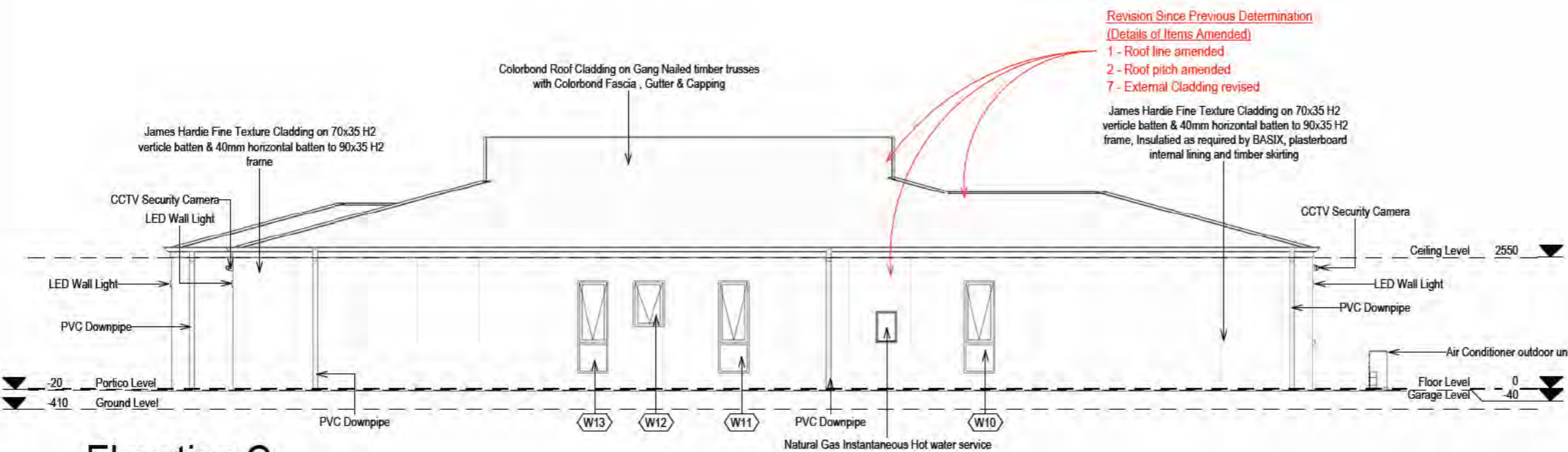
Mark	Location	Remarks	Height	Width	Glazing Area	Head Height	Material	Glazing	Window Style
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W02	Living	North	600	3000	1.80	1900	Aluminium	Single Clear	Fixed Window
W03	Living	North	600	3000	1.80	1900	Aluminium	Single Clear	Fixed Window
W05	Dining	East	2100	3000	6.30	2100	Aluminium	Single Clear	Sliding Door
W06	Laundry	North	2100	1350	2.84	2100	Aluminium	Single Clear	Hinged Door
W07	Bed 4	North	1800	600	1.08	2100	Aluminium	Single Clear	Awning Window
W08	WIR	East	1800	600	1.08	2100	Aluminium	Single Clear	Awning Window
W09	Bed 1	East	2100	3000	6.30	2100	Aluminium	Single Clear	Sliding Door

Window Schedule.

Mark	Location	Remarks	Height	Width	Glazing Area	Head Height	Material	Glazing	Window Style
W10	Ensuite	South	1800	600	1.08	2100	Aluminium	Single Frosted	Awning Window
W11	Bed 2	South	1800	600	1.08	2100	Aluminium	Single Clear	Awning Window
W12	WC	South	900	600	0.54	2100	Aluminium	Single Frosted	Awning Window
W13	Bath	South	1800	600	1.08	2100	Aluminium	Single Frosted	Awning Window
W14	Bed 3	West	600	2100	1.26	2100	Aluminium	Single Clear	Awning Window
W17	Garage	West	600	2100	1.26	2100	Aluminium	Single Clear	Fixed Window
W18	Garage	West	600	2100	1.26	2100	Aluminium	Single Clear	Fixed Window
Grand total					27550	36.50			



Elevation B
 Scale: 1 : 100



Elevation C
 Scale: 1 : 100

Project
Proposed New Home

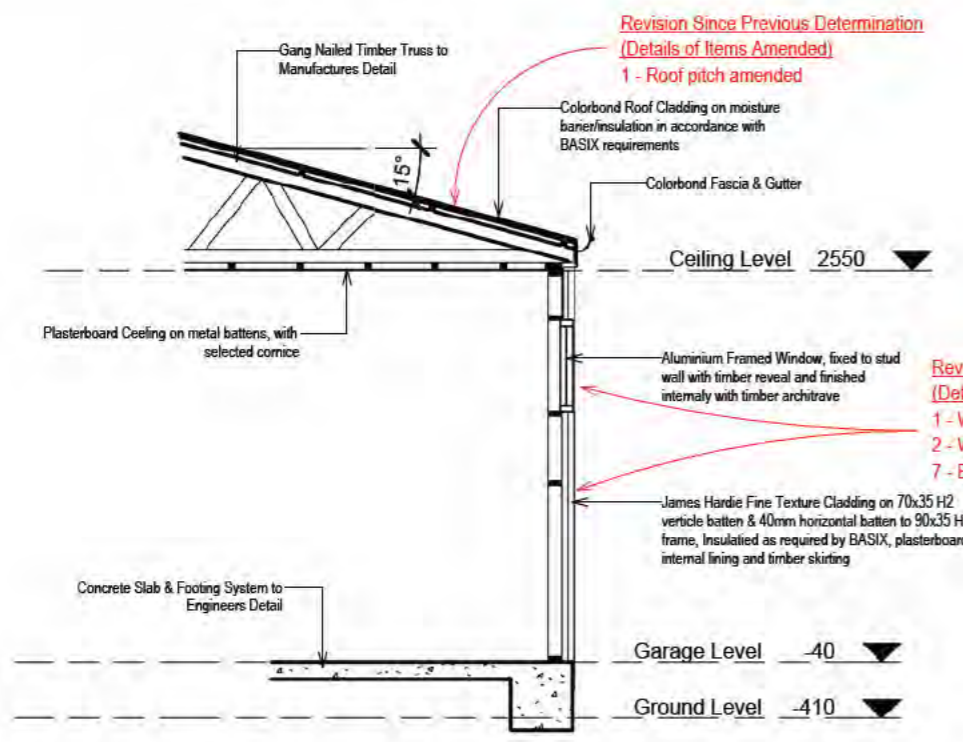
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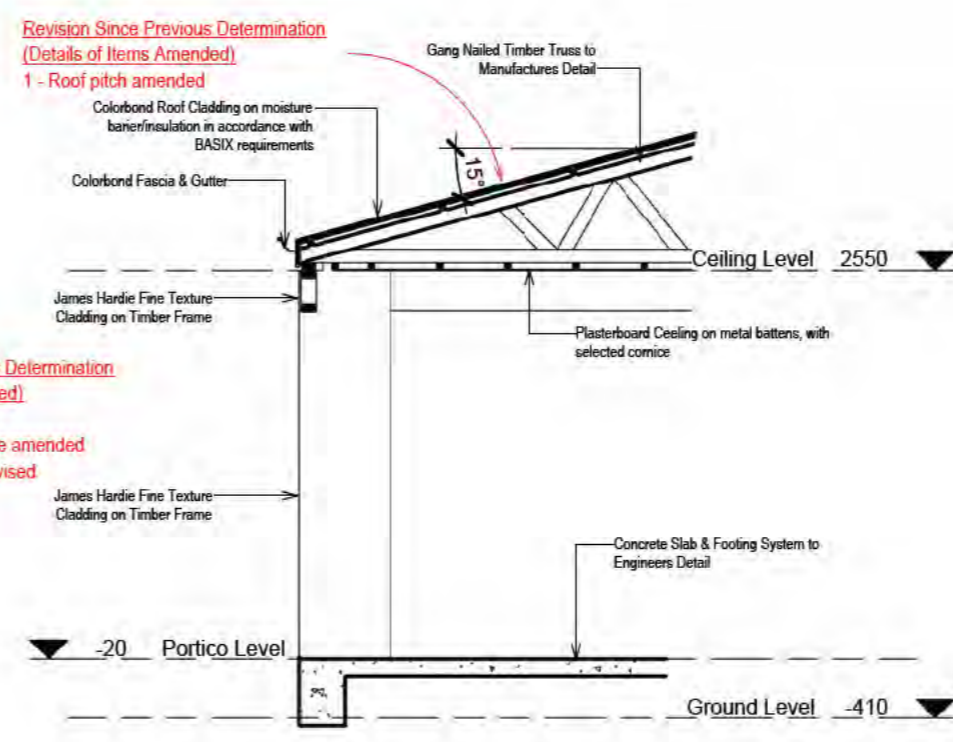
Occupancy
Mulwala - Lot 2

Drawing Title
Sections

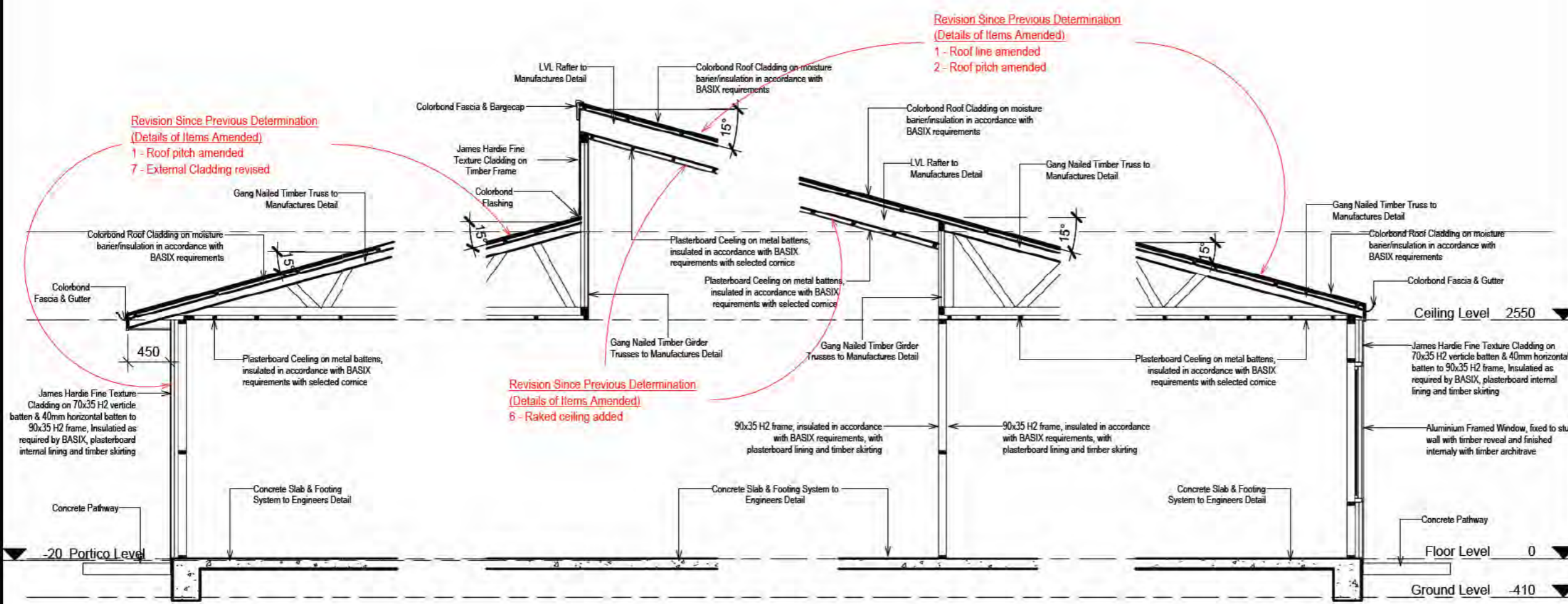
Job No: MUL0920	Drawing No: A141
Date: 27/9/2020	Scale: 1 : 50
Designed: G Lanza	Page Size: A3
Drawn: G Lanza	Checked: G Lanza



Section Through Garage



Section Through Portoco & Alfresco



Typical Section Through Conditioned Space

Sections
 Scale: 1 : 50

Revision Number	Revision Date	Revision Description
A	8/1/2021	Issued for Discussion
B	31/1/2021	Issued for Prelodgement Meeting
C	27/3/2021	Upper Level Removed
D	3/9/2021	Room Layout Revised
E	24/9/2022	Building fabric revised & notes added
F	5/7/2023	General Revisions as Marked
G	17/7/2023	Issued for review prior to construction
H	1/3/2023	Issued for Tender
I	18/11/2024	External Cladding Revised