

Applicant contact details

Title	Mr
First given name	Adrian
Other given name/s	
Family name	Melloto
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	There are multiple owners of the development site and I am one of them
Owner #	1
Title	Mr
First given name	Adrian
Other given name/s	
Family name	Melloto
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Owner #	2
Title	Mrs
First given name	Deb
Other given name/s	
Family name	Charlton
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
---	----

Developer details

ABN	31 154 976 486
ACN	154 976 486
Name	Build24 Pty Ltd
Trading name	Build24 Pty Ltd
Address	[REDACTED]
Email Address	[REDACTED]

Development details

Application type	Modification Application
On what date was the development application to be notified determined	1/05/2024
Type of modification requested	S4.55(2) - Other modification, where the development will remain substantially the same as the development that was originally approved
Development Application number of the consent to be modified	
Description of the proposed modification	Change the original size of the approved shed to slightly smaller but greater in height
Was the DA applied for via the NSW Planning Portal?	Yes
Please provide portal application number (PAN)	PAN-198149
Site address #	1
Street address	26 MURRAY STREET COROWA 2646
Local government area	FEDERATION
Lot / Section Number / Plan	1/-/DP1279690 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP NA Land Zoning NA Height of Building NA Floor Space Ratio (n:1) NA Minimum Lot Size NA Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA

Proposed development

Selected common application types	Erection of a new structure
Selected development types	Shed
Description of development	Erection of new shed
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	2
Existing gross floor area (m2)	
Proposed gross floor area (m2)	39
Total site area (m2)	
Total net lettable area (m2)	
Cost of development	
Estimated cost of work / development (including GST)	\$18,500.00
Capital Investment Value (CIV)	\$18,500.00
Do you have one or more BASIX certificates?	

Climate Zone	
What climate zone/s is the development in?	Climate zone 8 - alpine
Has the climate zone impacted the design of the development?	No
Subdivision	
Number of existing lots	1
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	No
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No

Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	No
Has the proposed development been designed to enable any of the following sustainability measures?	The minimisation of waste from associated demolition and construction, including by the choice and reuse of building materials
Provide further detail on the general sustainability provisions and list any relevant documents that accompany this application	
Is the development seeking certification from a sustainability rating system?	No
Embodied emissions for non-residential developments	
Does the NABERS Embodied Emissions Materials Form accompany this application? This is a mandatory document for your development type.	No
Has a voluntary NABERS Agreement to Rate relating to embodied emissions been prepared for each prescribed large commercial development type?	No
Low Emissions Construction Technologies	
Describe any low emissions construction technologies incorporated in the development	None
Is the development designed to retain or reuse an existing building on site?	No
Is the development designed to use recycled materials from the site or elsewhere?	No
Has a whole of Life Cycle Analysis (LCA) been prepared for this development?	No
Other consideration for large commercial development	
Is the development a prescribed large commercial development that involves any of the following:	No

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	Adrian
Other given name(s)	
Family name	Melloto
Contact number	██████████
Email address	████████████████████
Billing address	████████████████████

Application documents

The following documents support the application.

Document type	Document file name
Elevations and sections	Shed Melotto elevations 1 copy
Floor plans	Shed Site plan Melotto
NABERS Embodied Emissions Materials Form	Site plan Melotto-Corowa-556-E01
Site Plans	Shed Site plan Melotto
Structural engineers report	Shed engineering Shed comps

Applicant declarations

I declare that all the information in my application and accompanying documents is, to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I agree to pay any required NSW Planning Portal Service Fee/s specified under Schedule 4 of the Environmental Planning and Assessment Regulation 2021 to the Department of Planning, Housing and Infrastructure.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

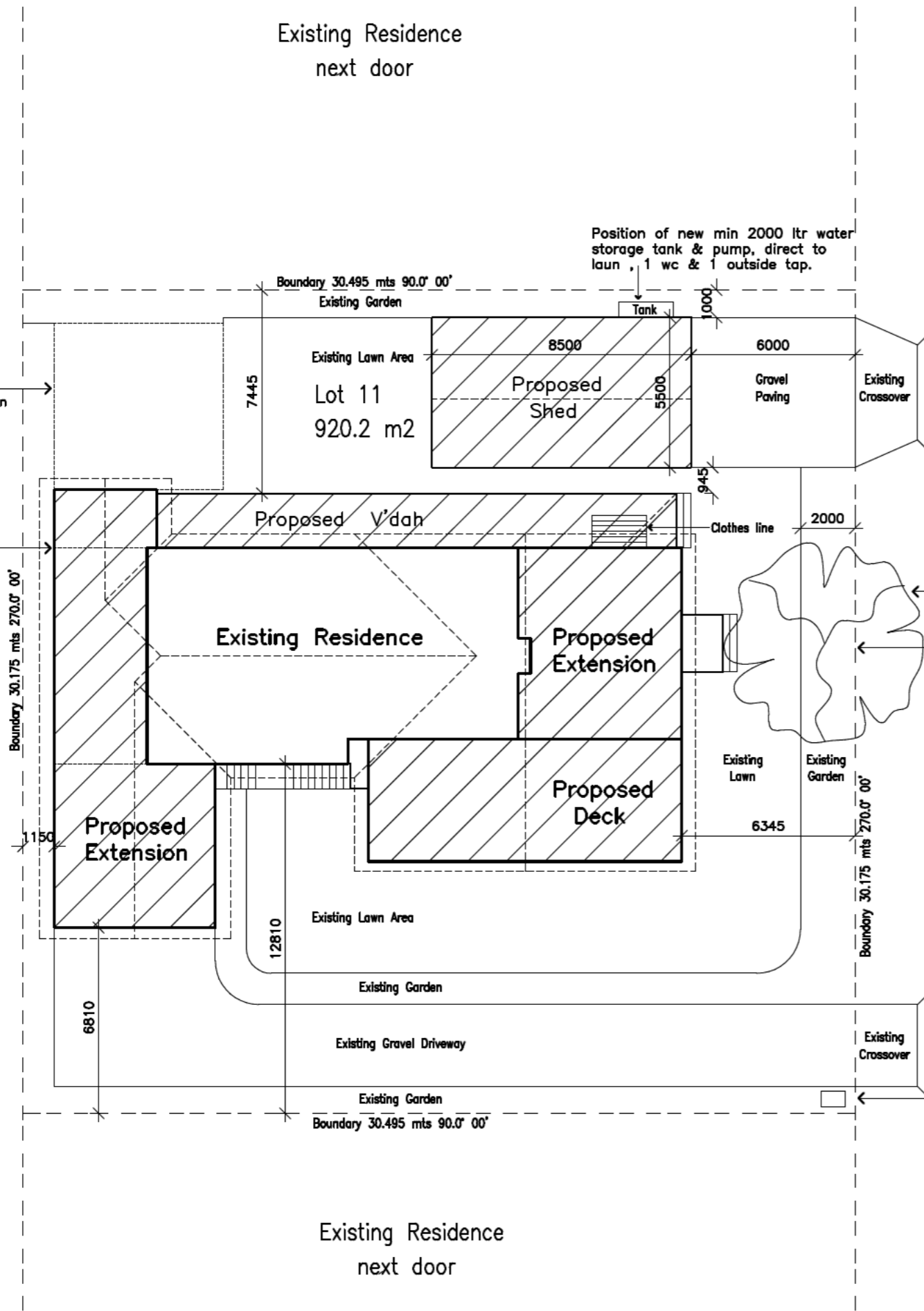


Existing Residence
next door

Outline of existing rumpus room
to be demolished walls are shown
lightly dashed

Outline of existing garage to be
demolished walls are shown
lightly dashed

Existing Residence
next door



Position of new min 2000 ltr water
storage tank & pump, direct to
laun , 1 wc & 1 outside tap.

Boundary 30.495 mts 90.0° 00'
Existing Garden

Existing Lawn Area
Lot 11
920.2 m2

8500

Proposed
Shed

5500

Tank

1000

6000

Gravel
Paving

Existing
Crossover

Proposed V'dah

Existing Residence

Proposed
Extension

945

Clothes line

2000

Position of existing
evergreen tree shading
front windows

Position of existing
gas connection point,
meter on house

Position of existing
stormwater discharge
point into gutter.

Existing Lawn

Existing Garden

Proposed
Deck

6345

Boundary 30.175 mts 270.0° 00'

Boundary 30.175 mts 270.0° 00'

1150

Proposed
Extension

Existing Lawn Area

12810

Existing Garden

Existing Gravel Driveway

6810

Existing Garden

Boundary 30.495 mts 90.0° 00'

Existing Residence
next door

Position of existing
letter box

Murray Street

Note :

Builder to check all levels, heights & dimensions
on site. All work to be to BCA building codes &
standards.

Note :

Connect all services to existing
provisions on site – builder to
check locations prior to tendering

Note : provide new 90mm PVC
storm water pipes & direct to
storage tank & to gutter.

: min 2000 ltr water tank & pump
located behind shed & connected to
laundry, wc & one outside tap

Note : the existing building site has
considerable fall over extended area,
some cut will be needed

Note: grade all ground away from
buildings to pits or drains if
required

Note: connect sewerage to Municipal
provisions on site – refer to plan
by plumber

New 36 ltr/min "Instantaneous Gas"
hot water unit located outside new
laundry & bathrooms

Cooling will be by existing ducted
"Swampy" located on the roof – "Split
system" on wall to new bed 1

Heating will be by existing ducted
"Gas heater" located in the ceiling
"Split system" on wall to new bed 1

Note : Refer also to Energy
Rating notes for "Energy
Efficiency Details"

There will be a new 8.5mt x
5.5mt x 3.0mt high kit shed as
part of this project – refer to
accompanying specifications

NOTE – refer also to
accompanying Aerial Photos
showing surrounding houses,
shed & road locations

The new kitchen will have a gas
cooktop and an 2 electric fired
ovens where shown on the floor
plan

Note : the roof colour will be
"Shale grey" [new roofing to all
areas]

These plans to be read in
conjunction with "Basix" 6-Star
Energy approval notes

Issue		E		
Revision	Client Drafts	Client amendments	Planning Permit Application	Building Permit Application
Date	29-07-21	19-11-21	13-12-21	

Site Plan

scale 1 : 200

GREG MARGERY DESIGN & DRAFTING
122 Margery's Rd Barnawartha Nth Vic 3691 A3
Registered Building Practitioner No DP-AD-19471

Project Proposed Additions & Alterations at 26 Murray Street Corowa NSW			
Client for Adrian Melotto & Deb Charlton.			
Title Site Plan	Scale 1 : 200	Drawn GM	Date July/2021
This Drawing must not be used for construction unless signed as Approved		Drawing No. 556/E01	



Safety Steel Structures



03 9706 7711



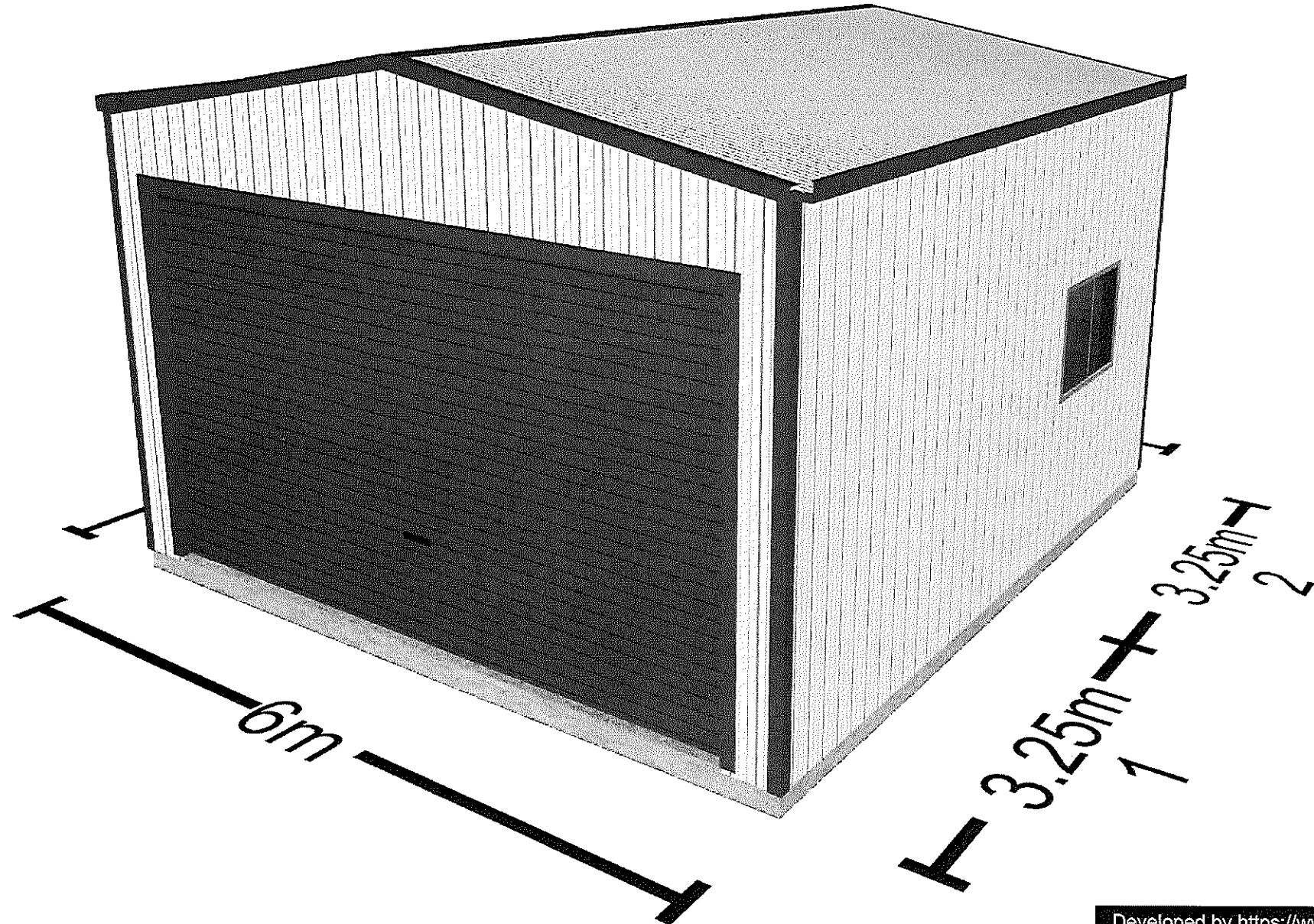
50 Nathan Road
Dandenong VIC 3175

SCAN THE CODE

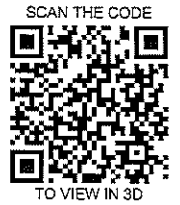


TO VIEW IN 3D

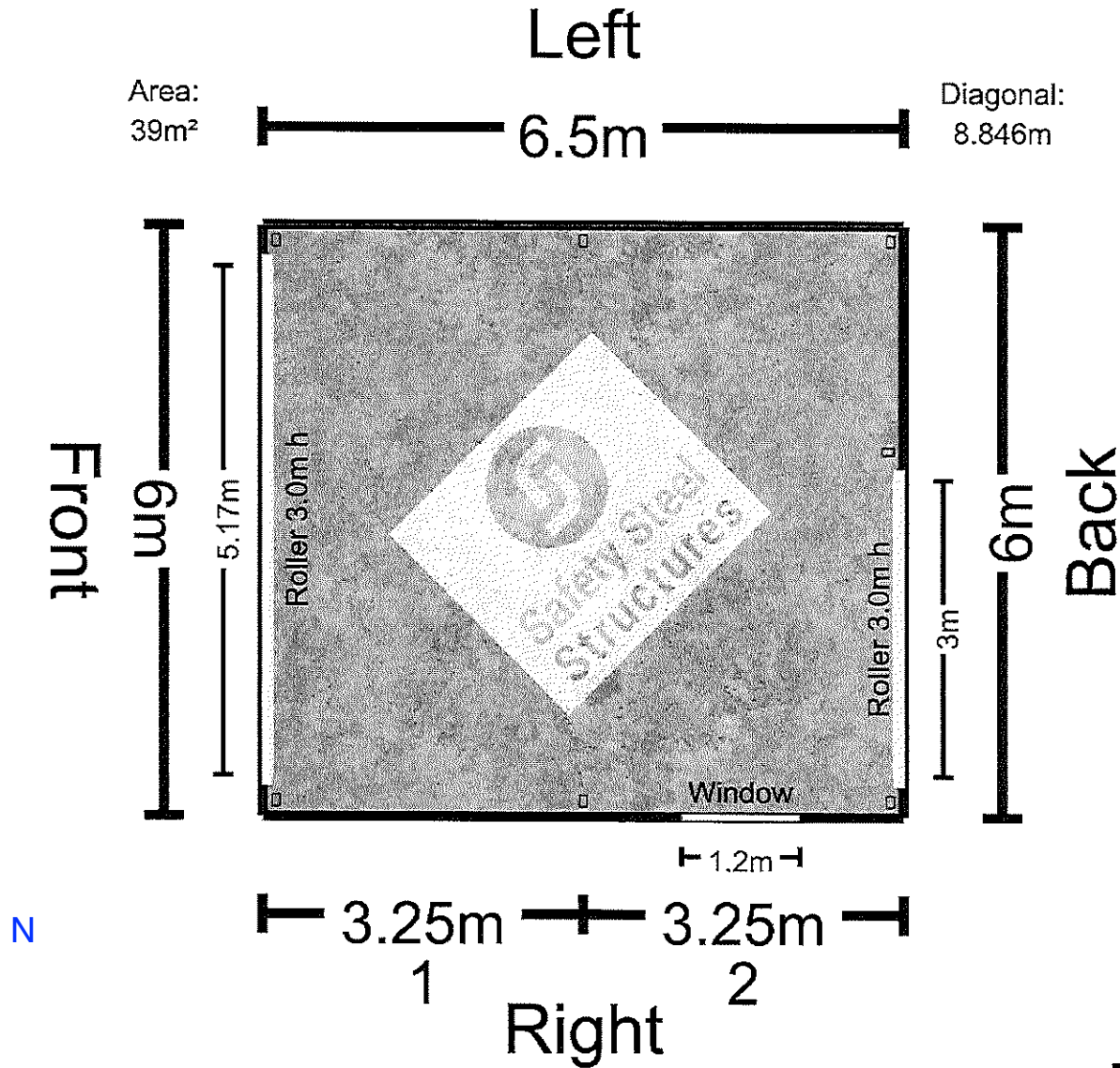
3D View View & Edit in 3D: <https://garage.safetysteel.com.au/#gOsgH68iA9I/0>



Developed by <https://www.webshed.app>

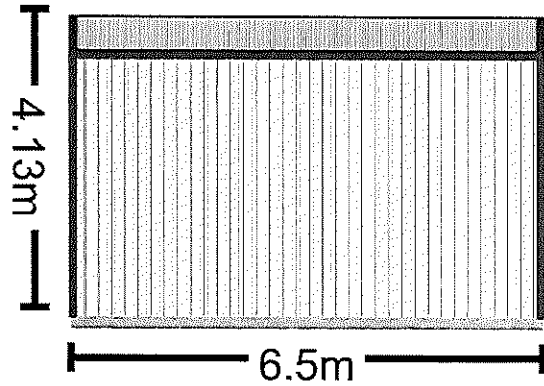


Floor Plan View & Edit in 3D: <https://garage.safetysteel.com.au/#gOsgH68iA9I/0>

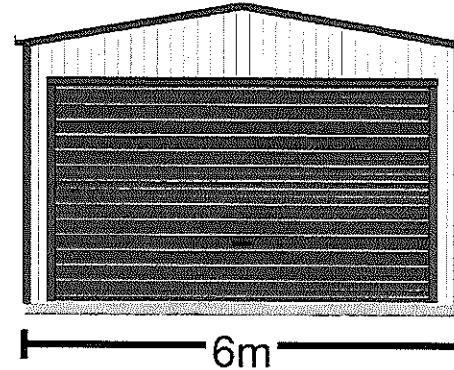




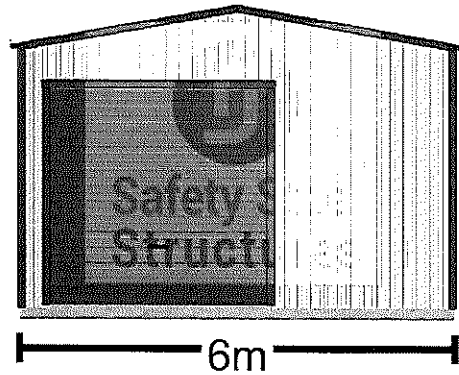
Elevations View & Edit in 3D: <https://garage.safetysteel.com.au/#gOsgH68iA9I/0>



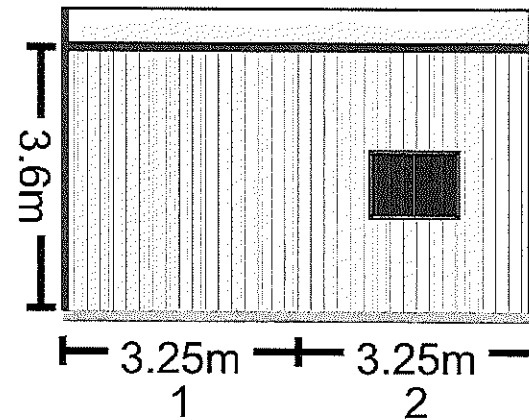
Left



Front



Back



Right

STATEMENT OF ENVIRONMENTAL EFFECTS - SMALL SCALE RESIDENTIAL AND CHANGE OF USE

Standard form for minor developments only.

A COMPLETED STATEMENT OF ENVIRONMENTAL EFFECTS (SEE) IS REQUIRED TO ACCOMPANY ALL DEVELOPMENT APPLICATIONS EXCEPT INTERGRATED DEVELOPMENTS WHICH REQUIRE AN ENVIRONMENTAL IMPACT STATEMENT (EIS).

ABOUT THIS FORM: This SEE template is designed to form an attachment to the Development Application. It can only be used for the following development types:

- ✓ Dwellings, single storey in the R1, R2, RU1, RU5 and R5 zones.
- ✓ Single shops or commercial premises in the B1, B2 & B6 zones*
- ✓ Residential alterations and additions
- ✓ Ancillary residential buildings and structures such as, verandahs, carports, garages, sheds, pergolas, swimming pools.

* Please note that a heritage impact statement is required for all premises within the Heritage Conservation area. This will be required for the majority of developments in the commercial precinct of Corowa.

Developments not listed above may require a SEE with greater detail. Please contact Council for further information.

The SEE must address all impacts that are relevant to your proposal, with comment on how the development will control or mitigate the impact. No matter how minor the impact, please advise Council in this document.

Failure to provide the requested items will delay processing of the development application and may result in the application being returned to you for completion or you receiving an additional information request from Council.

APPLICATION DETAILS

Applicant: _____

APPLICANT'S DECLARATION: *I/we declare to the best of my/our knowledge and belief, that the particulars stated on this document are correct in every detail and that the information required has been supplied. I/we acknowledge that the development application may be returned to me if information is found to be missing or inadequate.*

Applicant Signature: _____ Date: _____

PROPERTY DETAILS

Property Name: _____

Unit/House No.: _____ Street Name: _____

Town: _____ Postcode: _____

Lot: _____ Section: _____ DP/SP: _____

PROPOSED DEVELOPMENT

Where applicable include a description of matters such as proposed buildings, proposed building materials, nominated colour scheme. Nature of use, staging of the development, details of any demolition and other works to be carried out in site.

PLANNING CONTROLS

Is your proposal permissible in the zone under Corowa LEP 2012 / Urana LEP 2011 YES NO

Is your proposal consistent with the zone objectives? YES NO

Is your proposal in accordance with Corowa DCP 2013 / Urana DCP 2011 YES NO

NOTE: *If you answered no to any of the above questions please discuss your application with Council staff.*

Are there any other planning controls relevant to your proposal YES NO

If yes, please list controls and how the application complies: _____

DESCRIPTION OF SITE

Include where applicable a description of the physical features of the site such as shape, slope, vegetation, waterways.

What is the present use and previous use(s) of the site?

Is the development site subject to any of the following natural hazards?

Bushfire Prone	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Flooding	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Storm water inundation	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO

NOTE: If the site is identified as Bushfire Prone it will be necessary to address the Planning for Bushfire Protection Guidelines. For further information please consult the NSW Rural Fire Service website www.rfs.nsw.gov.au

How will you mitigate the impact of the natural hazards for this development?

Is the site constrained by any of the following? (Please refer to LEP Maps)

Terrestrial biodiversity	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Riparian Land and Watercourses	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Groundwater vulnerability	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Wetlands	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Item of Environmental Heritage or in conservation area *	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO

How will you mitigate the impact of the development on these constraints?

**Note a Heritage Impact statement may be required. Please discuss with Council*

What types of land use and development exist on the surrounding land?

CONTEXT AND SETTING – WILL THE DEVELOPMENT BE

Visually prominent in the surrounding area?	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Inconsistent with the existing streetscape?	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Out of Character with the surrounding area?	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Inconsistent with surrounding land uses?	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO
Vary a building line setback	<input type="checkbox"/>	YES	<input type="checkbox"/>	NO

If you answered yes to any of the above please provide details and justification for the proposal?

PRIVACY, VIEWS AND OVERSHADOWING

Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space etc? YES NO

Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? YES NO

Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners, pump, bedroom and living room windows etc? YES NO

Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks, road or footpaths? YES NO

If yes, please provide details of issue. Some issues will require plans, i.e. overshadowing.

ACCESS, TRAFFIC AND UTILITIES

Is legal and practical access available to the development? YES NO

Will the development increase traffic movements/volumes? YES NO

If Yes by how much and what types of Vehicles?

Are additional access points to a road network required? YES NO

Has vehicle maneuvering and onsite parking been addressed in the design? YES NO

Is power, water, electricity, sewer and telecommunication service readily available to the site? YES NO

Comments _____

ENVIRONMENTAL IMPACTS

Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO

Does the development have the potential to result in any form of water pollution (i.e. sediment from runoff)? YES NO

Will the development have any noise impacts above background noise levels? (i.e. air conditioner units, pool pumps)? YES NO

Does the development involve any significant excavation or filling? YES NO

Could the development cause erosion or sediment runoff (including during construction)? YES NO

Is there a likelihood of the development resulting in site contamination? YES NO

Is the development considered to be environmentally sustainable (including provisions of BASIX certificate where required)? YES NO

Is the development situated in a heritage conservation area or likely to have an impact on any heritage item or item of cultural significance? YES NO

Is the development likely to disturb any aboriginal artifacts or relics? YES NO

Comments _____

FLORA AND FAUNA – FOR THREATENED SPECIES PLEASE VISIT www.threatenedspecies.nsw.gov.au

Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO

Will the development result in the removal of any native vegetation from the site? YES NO

Is the development likely to have any impact on threatened species or native habitat? YES NO

If the answer is yes to either of the above questions it may be necessary to have a formal seven part test completed to assess the impact on threatened species – please contact Council for further information.

Comments _____

WASTE AND STORMWATER DISPOSAL

How will effluent be disposed of Sewer Septic

Will liquid trade waste be discharged to Council’s sewer? YES NO

Will the Development result in any hazardous waste or other waste disposal issue? YES NO

How will stormwater (from roof and hard standing areas) be disposed of? Council System Other (Provide Details)

Details: _____

Have all potential overland stormwater risks been considered in the design of the development? YES NO

Comments _____

SOCIAL AND ECONOMIC IMPACTS

Will the proposal have any economic or social consequences in the area? YES NO

Has the development addressed safety, security or crime prevention issues? YES NO

Comments _____

OTHER RELEVANT MATTERS

Are there any other matters for consideration that you are aware of as developer?

OTHER RELEVANT MATTERS (Continued)

LEGAL REFERENCES

Section 78A(9) of the Environmental Planning and Assessment Act 1979 states that the regulations may specify what is required to be submitted with a development application.

Section 50(1)(a) of the Environmental Planning and Assessment Regulation 2000 states that development applications must contain information and documents specified in schedule 1 part 1.

Schedule 1, part 1, subclause 2(1)(c) of the Environmental Planning and Assessment Regulation 2000 requires the submission of Statements of Environmental Effects (SEEs) with all development applications (other than complying and designed development).

Schedule 1, part 1, subclause 4 of the Environmental Planning and Assessment Regulation 2000 states that such SEEs must show:

- The environmental impacts of the development
- How the impacts have been identified?
- The steps to be taken to protect the environment or lessen the expected harm to the Environment
- Any matters required to be indicated by any guidelines issued by the Director-General.

The Applicant is advised that Council will make copies of (including electronic copies) of the development application and accompanying documents for the purpose of complying with its obligations under the Environmental Planning and Assessment Act 1979 and the Local Government Act 1993. The applicant is responsible for obtaining all copyright licenses necessary from the copyright owners for this purpose.

PRIVACY STATEMENT: Information provided to Council may comprise personal information as defined under the Privacy and Personal Information Protection Act 1998. Personal information may be utilised by Council to assess any application under the Environmental Planning and Assessment Act 1979 and in accordance with other legislation. Please note that personal information may also be made available to third parties in accordance with the Government Information (Public Access) Act 2009.

COPYRIGHT STATEMENT:

1. To the extent that the signatory to this form is the copyright owner of documents lodged with this application, you licence Council to make all documents publicly available, and further licence Council to reproduce and/or communicate all such documents for any purpose associated with the exercise of its functions, and for the purpose of complying with its obligations under the Government Information (Public Access) Act 2009 and any other applicable legislation.
2. By executing this form, the signatory warrants that to the extent that he/she is not the copyright owner of any documents lodged with this application, Council is licensed by the copyright owner to use the documents lodged with this application in accordance with paragraph 1 above.
3. By executing this form, the signatory indemnifies Council against all claims and actions in respect of a breach of copyright arising from any unauthorised use of any documents lodged with this application.

