

Applicant contact details

Title	Mrs
First given name	Danni
Other given name/s	
Family name	Jones
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	There are multiple owners of the development site and I am one of them
Owner #	1
Title	Mr
First given name	Damien
Other given name/s	
Family name	wilson
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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Developer details

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

Development details

Application type	Development Application
Site address #	1
Street address	1-3 COBAR COURT COROWA 2646
Local government area	FEDERATION
Lot / Section Number / Plan	321/-/DP1282417 <input checked="" type="checkbox"/>

Primary address?	Yes
Planning controls affecting property	Land Application LEP Corowa Local Environmental Plan 2012 Land Zoning E4: General Industrial Height of Building NA Floor Space Ratio (n:1) NA Minimum Lot Size NA Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA

Proposed development

Selected common application types	Erection of a new structure
Selected development types	Industrial Development
Description of development	construction of 7 separate storage sheds
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	0
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	0
Total site area (m2)	0
Total net lettable area (m2)	0
Cost of development	
Estimated cost of work / development (including GST)	\$417,391.23
Capital Investment Value (CIV)	\$0.00
Do you have one or more BASIX certificates?	
Climate Zone	
What climate zone/s is the development in?	Climate zone 4 - hot dry summer, cool winter
Has the climate zone impacted the design of the development?	No
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	

Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	Yes
Have you already applied for approval under s68 of the Local Government Act?	No
Would you like to apply for approval under s68 of the Local Government Act?	Yes
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	No
Has the proposed development been designed to enable any of the following sustainability measures?	The generation and storage of renewable energy The metering and monitoring of energy consumption
Provide further detail on the general sustainability provisions and list any relevant documents that accompany this application	The proposed development will have solar applied at a later date.
Is the development seeking certification from a sustainability rating system?	No
Embodied emissions for non-residential developments	
Does the NABERS Embodied Emissions Materials Form accompany this application? This is a mandatory document for your development type.	No
Has a voluntary NABERS Agreement to Rate relating to embodied emissions been prepared for each prescribed large commercial development type?	No
Low Emissions Construction Technologies	
Describe any low emissions construction technologies incorporated in the development	The proposed development will have solar applied at a later date.
Is the development designed to retain or reuse an existing building on site?	No
Is the development designed to use recycled materials from the site or elsewhere?	No
Has a whole of Life Cycle Analysis (LCA) been prepared for this development?	No
Other consideration for large commercial development	
Is the development a prescribed large commercial development that involves any of the following:	No

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	Damien
Other given name(s)	
Family name	Wilson

Contact number	[REDACTED]
Email address	[REDACTED]
Billing address	[REDACTED]

Application documents

The following documents support the application.

Document type	Document file name
Cost estimate report	Cost Estimate Report for cobar crt
Geotechnical report	23-487 Soil Report
NABERS Embodied Emissions Materials Form	This is left blank intentionally due to document not being required
Owner's consent	Development Application Sep 2023
Site Plans	1-3 Cobar Ct - V3
Statement of environmental effects	This is left blank intentionally due to document not being required

Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

1-3 COBAR COURT COROWA PROPOSED 7 x SHEDS INFRASTRUCTURE CONCEPT DESIGN - V4

NEW AND EXISTING CONDITIONS GENERAL NOTES:

- ALL DIMENSIONS AND MEASUREMENTS SHOWN ARE NOMINAL ONLY.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL MEASUREMENTS AND LEVELS ON SITE AND ADJUST ACCORDINGLY TO SUIT THE INTENDED DESIGN.
- DO NOT SCALE FROM DRAWINGS.
- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA.
- CONTRACTORS SHALL LOCATE ALL SITE SERVICES PRIOR TO ANY SITE WORKS, DIAL BEFORE YOU DIG.
- ALL PLUMBING AND DRAINAGE SHALL COMPLY WITH AS3500 AND LOCAL AUTHORITY REGULATIONS.
- ALL TIMBER FRAMED CONSTRUCTION SHALL COMPLY WITH AS1684
- ALL ELECTRICAL SHALL COMPLY WITH AS3000 AND LOCAL AUTHORITY REGULATIONS.
- TERMITE TREATMENT SHALL COMPLY WITH BCA PART 3.1.4

SITE ANALYSIS

SITE YARD AREA	APPROXIMATELY 5494.7m ²	
SHED FLOOR LEVEL - F.F.L. 140.220 AHD		
TOTAL SHED FLOOR AREAS	1968m ²	
SHED BUILDING PADS 300mm THICK EACH	364m ²	110m ³
TOTAL SHED BUILDING PADS	2548m ²	764m ³
ROAD BASE	3785m ²	757m ³
SHED BUILDING CLASSIFICATION	CLASS 7b	

LANDSCAPE:

- NATIVE TREES & SHRUBS ONLY
- GARDEN LANDSCAPE, LOW WATER USE ONLY
- SITE WATER TANK CAPACITY 88,000 L. CONNECTED FROM SHED DOWNPIPES
- SLIMLINE WATER TANK CAPACITY 4,000 L TO EACH SHED
- DRIP IRRIGATION
- REFER TO CIVIL ENGINEERS DRAWINGS & DETAILS

AUSTRALIAN NATIVE SHRUBS UP TO 2m HIGH

- ACACIA BRIDGEWATER
- ACPHENA PECIL RED
- BANKSIA
- CALLISTEMON KINGS PARK SPECIAL

ALTERNATIVE ENERGY:

- FUTURE SOLAR SYSTEM TO BE INSTALLED, APPROXIMATELY 10-20kW

FENCING:

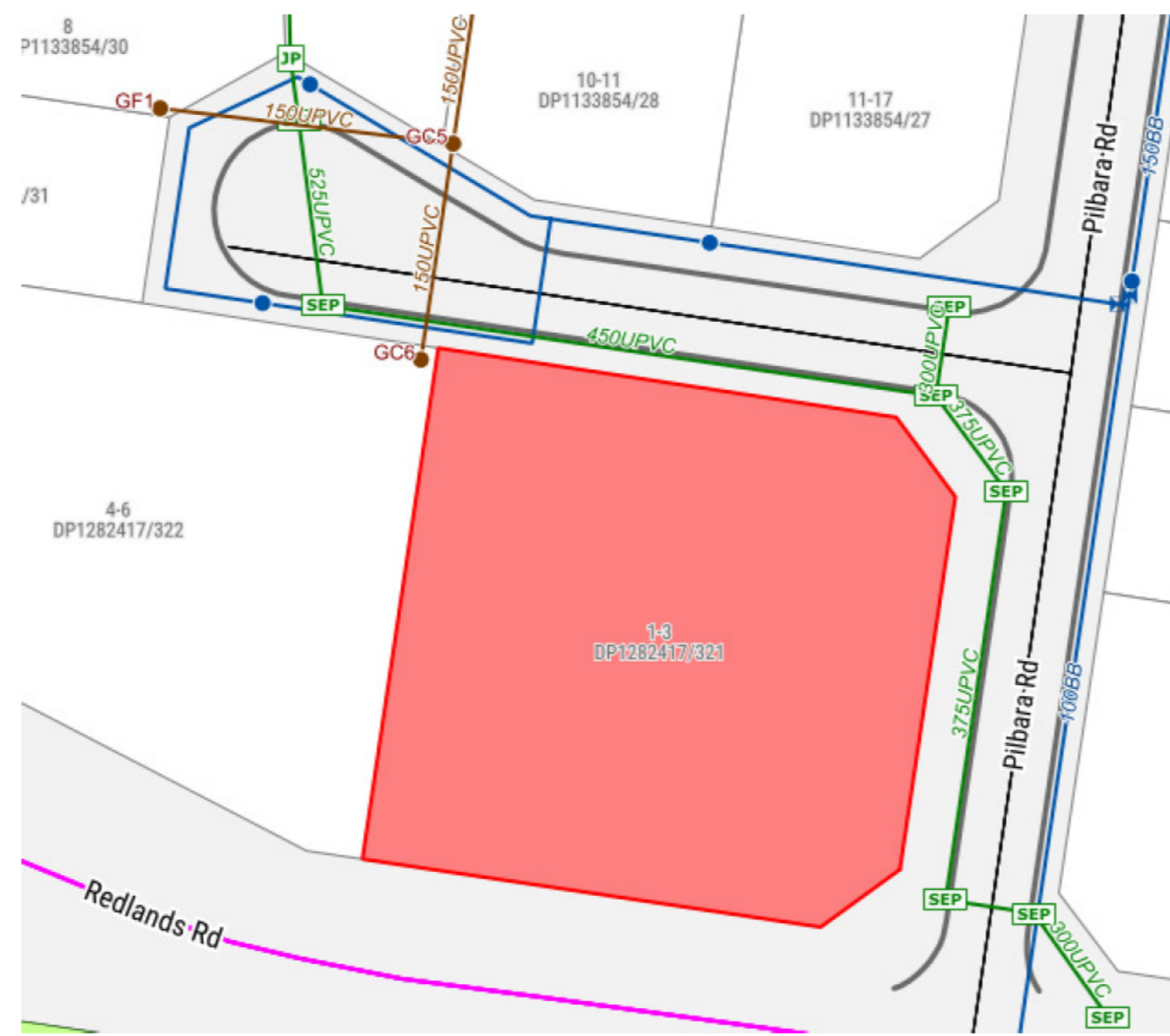
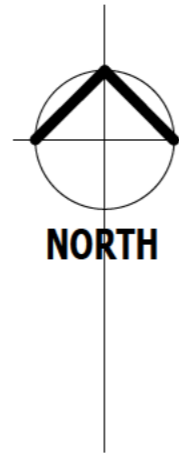
- BLACK PICKET FENCE 2.4m HIGH

CAR PARKING:

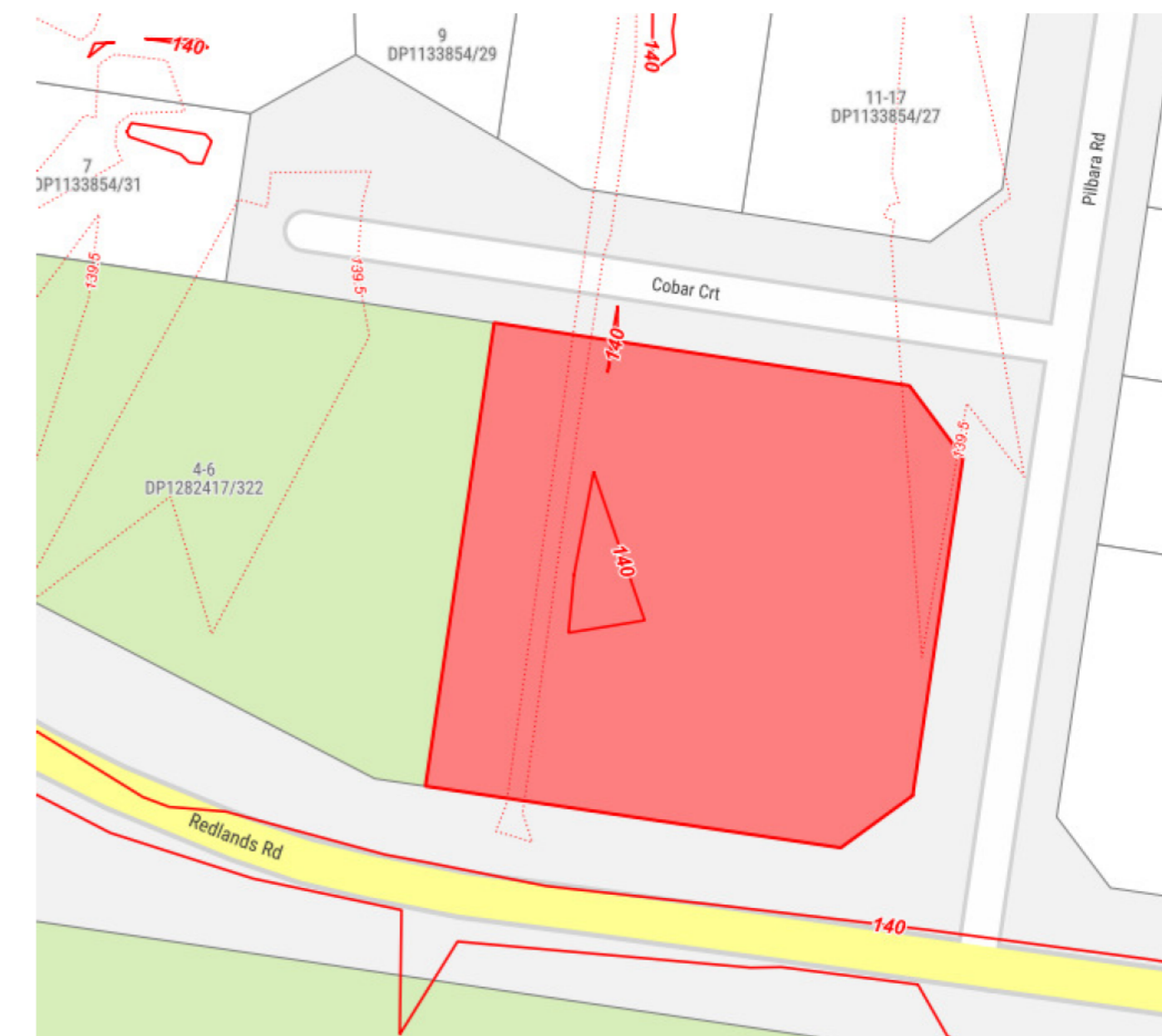
- 22 GENERAL PARKING AREAS
- 6 DISABLED PARKING AREAS
- 6 SHARED PARKING AREAS
- NO EXTERNAL ACTIVE USE AREAS

DISABLED ACCESS:

- ACCESS AND EGRESS SHALL COMPLY WITH BCA & AS1428.1
- DISABLED PARKING INCLUDED AS SHOWN
- DISABLED SIGNAGE SHALL COMPLY WITH AS1428.1
- CONCRETE FOOTPATH ACCESS TO & WITHIN EACH SHED
- DISABLED SANITARY FACILITIES SHALL COMPLY WITH AS1428.1



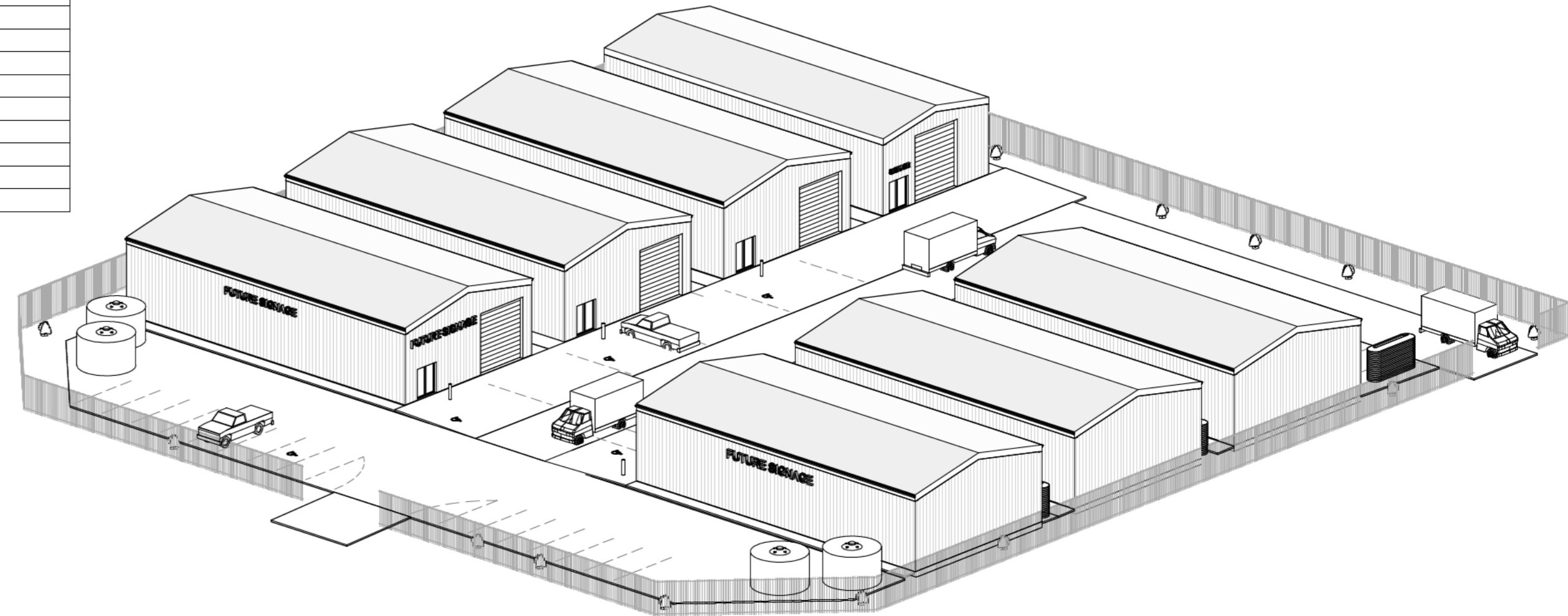
EXISTING SITE SERVICES



EXISTING SITE CONTOUR LEVELS

SHEET LIST

SHEET NUMBER	SHEET NAME
A101	TITLE SHEET
A102	SITE SURVEY PLAN w/ AHD LEVELS
A103	SITE PLAN
A104	FLOOR PLAN OVERALL
A105	FLOOR PLAN - 24m x 12m SHED
A106	BOUNDARY EXTERNAL ELEVATIONS
A107	ELEVATIONS - SHED 1 & SHED 2
A108	ELEVATIONS - SHEDS 4, 5, 6
A109	ELEVATIONS - SHED 3
A110	ELEVATIONS - SHED 7
A111	SECTION A - DETAILS
A112	VEHICLE TURNING PATH

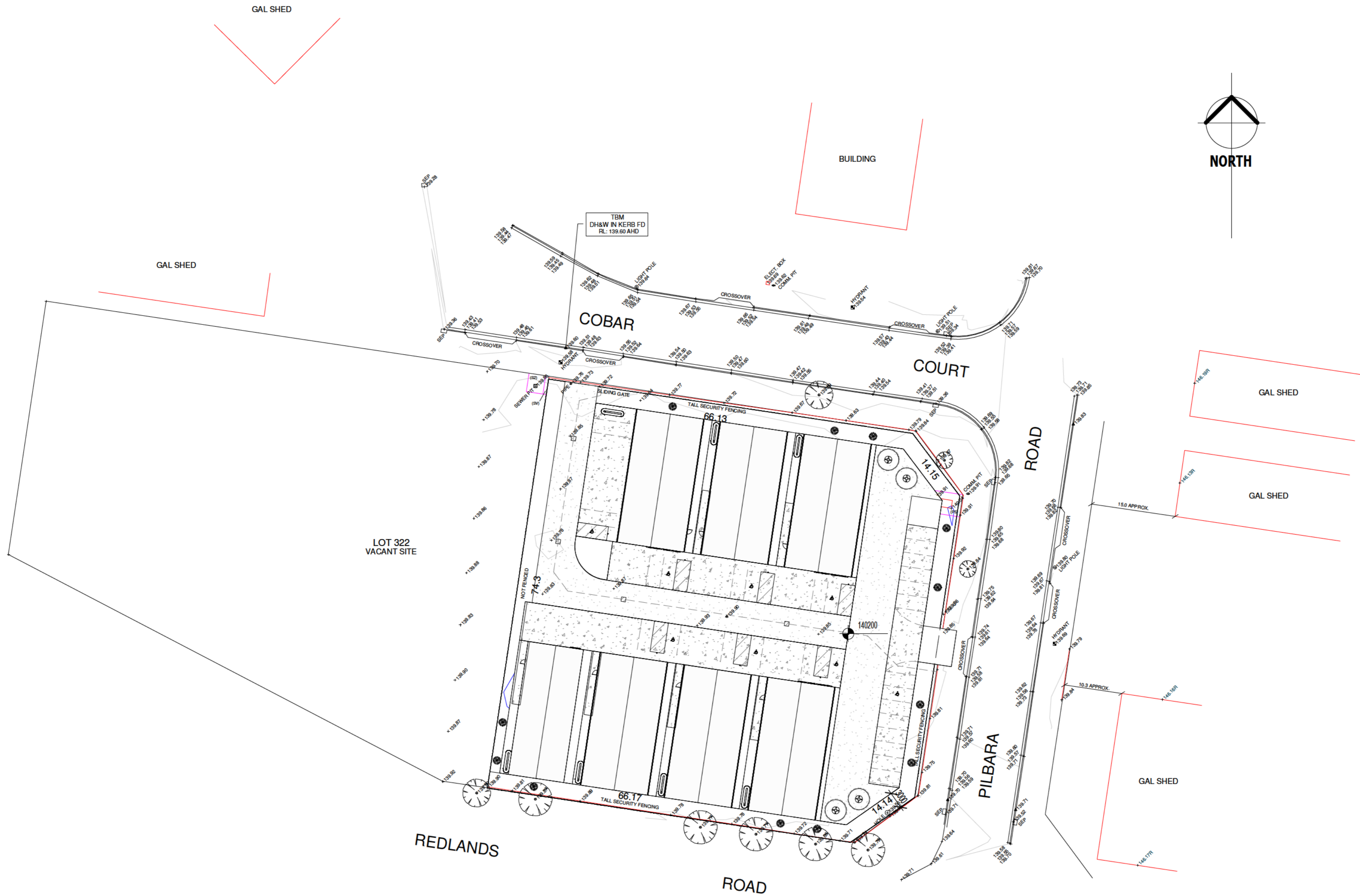


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0404 087 083

REGION COROWA
LOCATION 1-3 COBAR COURT COROWA
PROJECT NAME PROPOSED 7 x SHEDS INFRASTRUCTURE
DRAWING TITLE SHEET

LOT No. 1-3	DP No. 1282417/321	SHEET No. A101	OF 12	DRAWING No.	AMEND. 0	SHEET SIZE A2
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V4	DA REVIEW ISSUE	SO	26.7.24	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				



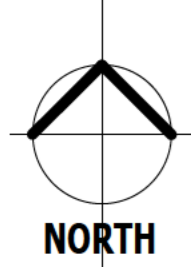
SITE SURVEY PLAN w/ AHD Levels

1 : 500

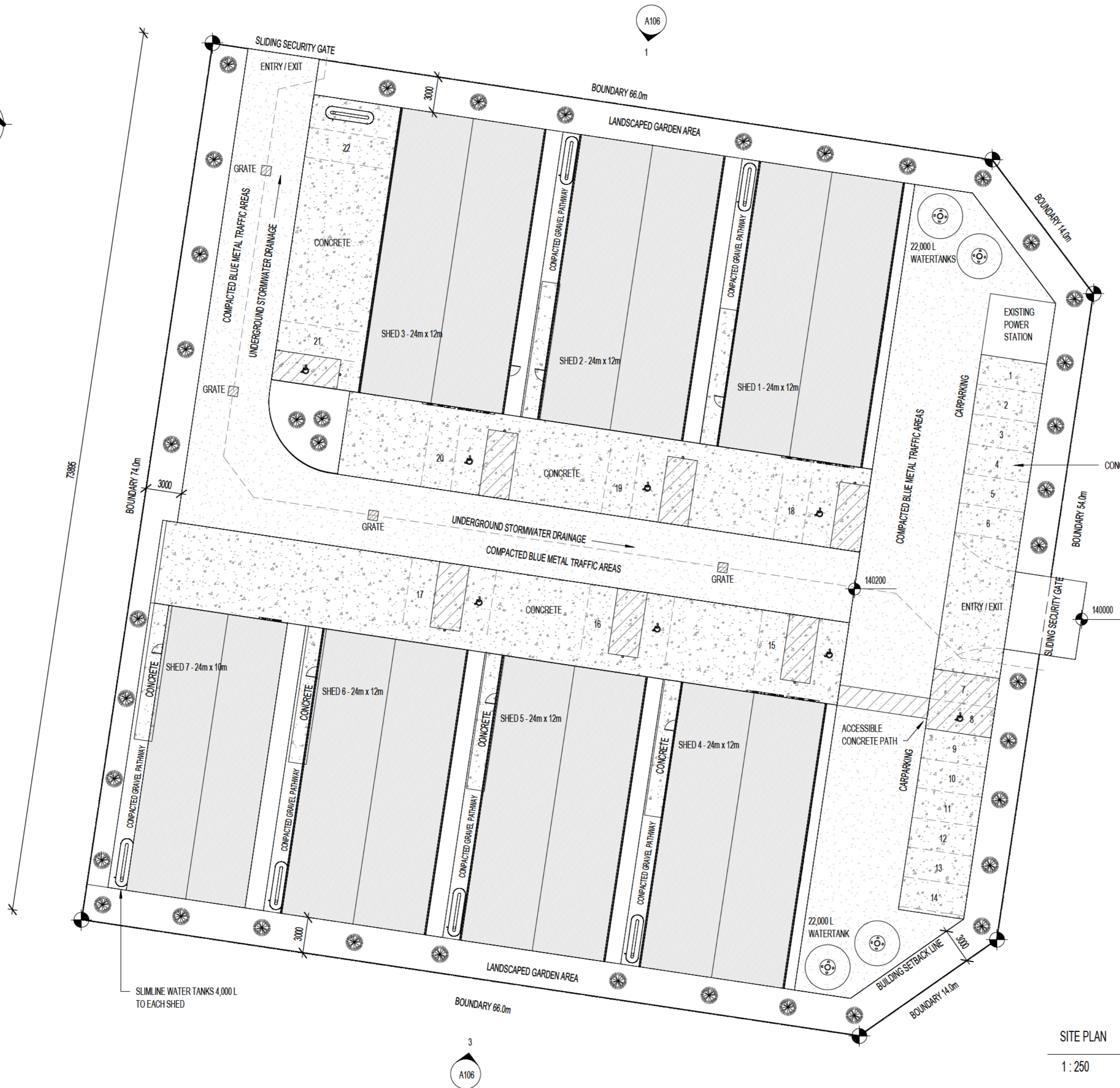
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REGION	COROWA				
LOCATION	1-3 COBAR COURT COROWA				
PROJECT NAME	PROPOSED 7 x SHEDS INFRASTRUCTURE				
DRAWING	SITE SURVEY PLAN w/ AHD LEVELS				
LOT No.	DP No.	SHEET No.	OF	DRAWING No.	AMEND.
1-3	1282417/321	A102	12		0
		SHEET SIZE			
		A2			

V4	DA REVIEW ISSUE	SO	26.7.24	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				



A106 4



SITE PLAN

1 : 250



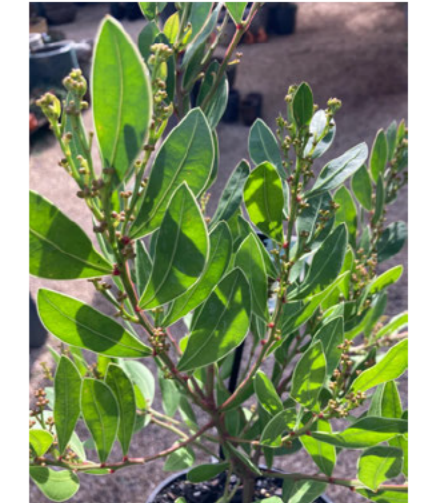
ACMENA PENCIL RED



CALLISTEMON



BANKSIA



ACACIA BRIDGEWATER

SITE ANALYSIS

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SHED FLOOR LEVEL - F.F.L. 140.220 AHD		
TOTAL SHED FLOOR AREAS	1968m ²	
SHED BUILDING PADS 300mm THICK EACH	364m ²	110m ³
TOTAL SHED BUILDING PADS	2548m ²	764m ³
ROAD BASE	3785m ²	757m ³

SHED BUILDING CLASSIFICATION CLASS 7b

LANDSCAPE:

- NATIVE TREES & SHRUBS ONLY
- GARDEN LANDSCAPE, LOW WATER USE ONLY
- SITE WATER TANK CAPACITY 88,000 L. CONNECTED FROM SHED DOWNPIPES
- SLIMLINE WATER TANK CAPACITY 4,000 L TO EACH SHED
- DRIP IRRIGATION
- REFER TO CIVIL ENGINEERS DRAWINGS & DETAILS

AUSTRALIAN NATIVE SHRUBS UP TO 2m HIGH

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- BANKSIA
- CALLISTEMON KINGS PARK SPECIAL

ALTERNATIVE ENERGY:

- FUTURE SOLAR SYSTEM TO BE INSTALLED, APPROXIMATELY 10-20kW

FENCING:

- BLACK PICKET FENCE 2.4m HIGH

CAR PARKING:

- 22 GENERAL PARKING AREAS
- 6 DISABLED PARKING AREAS
- 6 SHARED PARKING AREAS
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DISABLED ACCESS:

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- CONCRETE FOOTPATH ACCESS TO & WITHIN EACH SHED
- DISABLED SANITARY FACILITIES SHALL COMPLY WITH AS1428.1

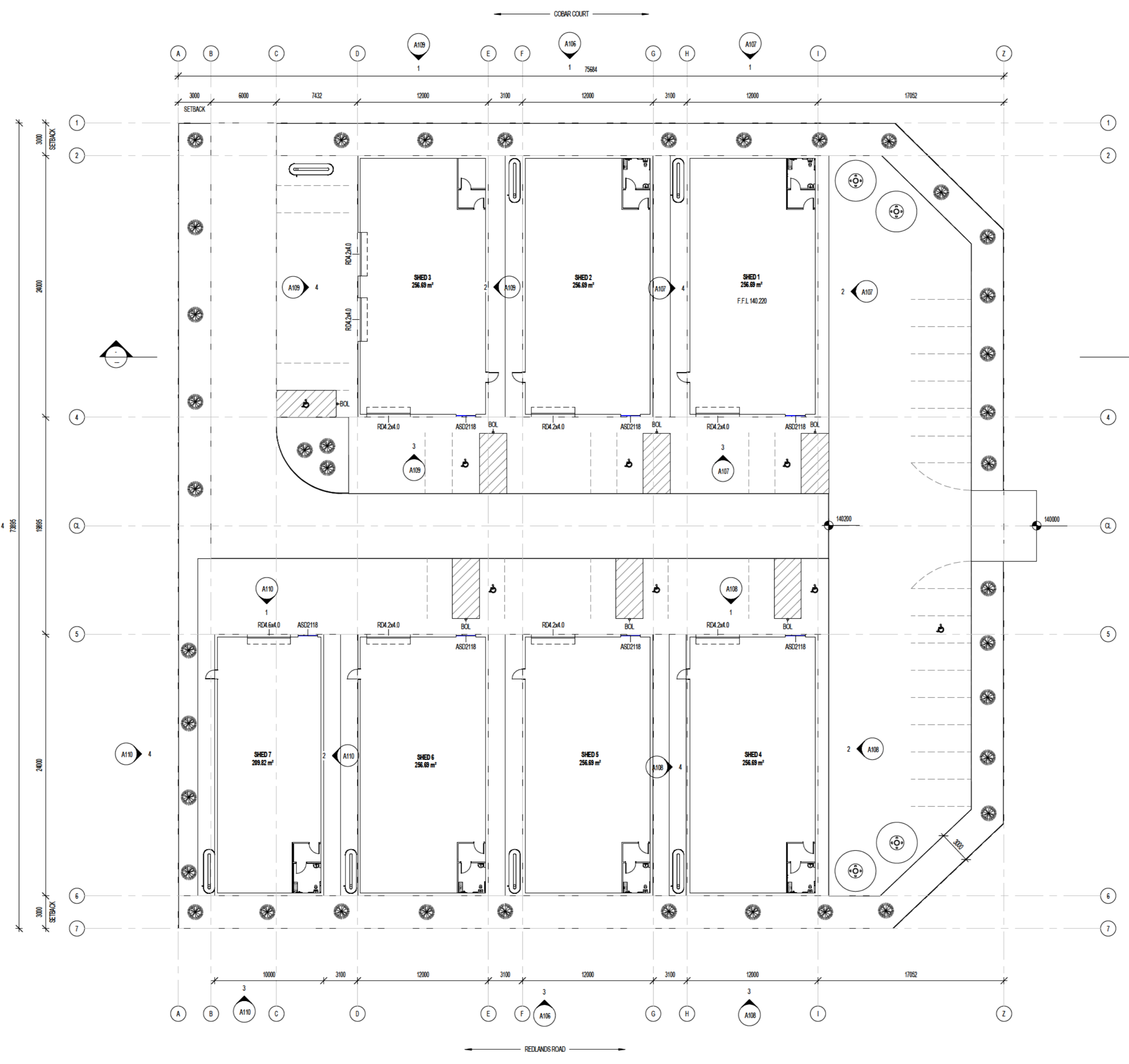
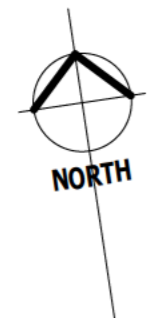
A106 3

A106 2

V4	DA REVIEW ISSUE	SO	26.7.24	ISKO
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AMENDMENTS				

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REGION	COROWA				
LOCATION	1-3 COBAR COURT COROWA				
PROJECT NAME	PROPOSED 7 x SHEDS INFRASTRUCTURE				
DRAWING	SITE PLAN				
LOT No.	DP No.	SHEET No.	OF	DRAWING No.	AMEND.
1-3	1282417/321	A103	12	1-3	0
					SHEET SIZE
					A2

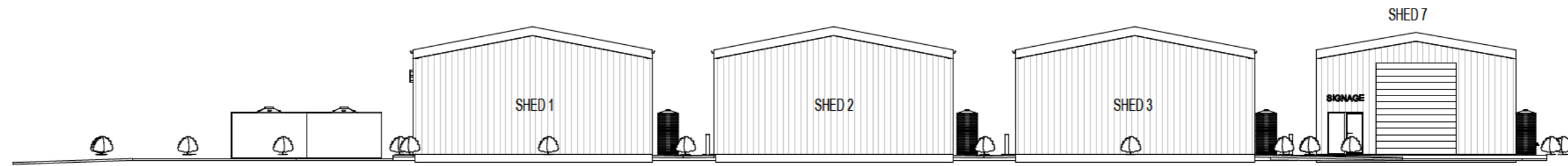


Level - FFL - FLOOR PLAN OVERALL
1:200

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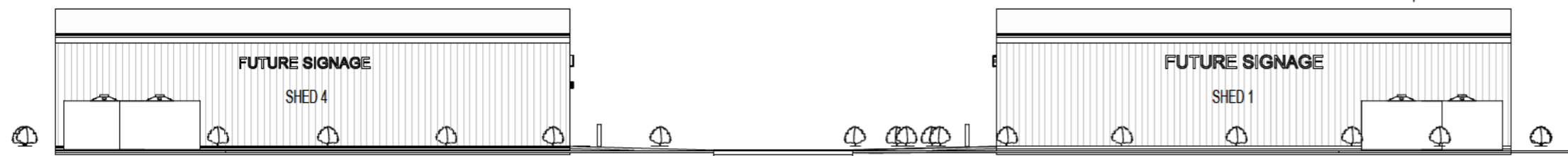
REGION	COROWA				
LOCATION	1-3 COBAR COURT COROWA				
PROJECT NAME	PROPOSED 7 x SHEDS INFRASTRUCTURE				
DRAWING	FLOOR PLAN OVERALL				
LOT No.	DP No.	SHEET No.	DRAWING No.	AMEND.	SHEET SIZE
1-3	1282417321	A104 OF 12		0	A1

V4	DA REVIEW ISSUE	SO	26.7.24	ISKO
Nb.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				

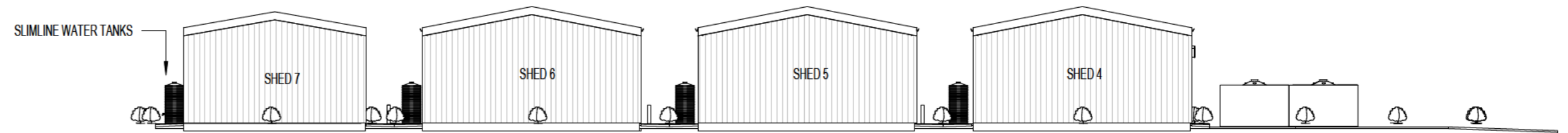


1 NORTH ELEVATION
A103 1:250

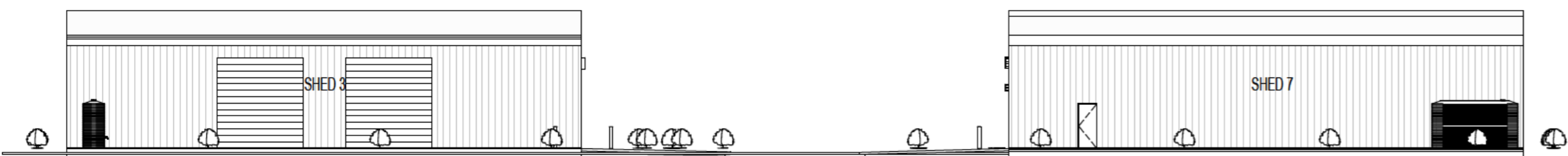
PROPRIETARY COLORBOND "SLATE GREY" SHEDS,
REFER TO MANUFACTURERS SPECS



2 EAST ELEVATION
A103 1:250



3 SOUTH ELEVATION
A103 1:250



4 WEST ELEVATION
A103 1:250

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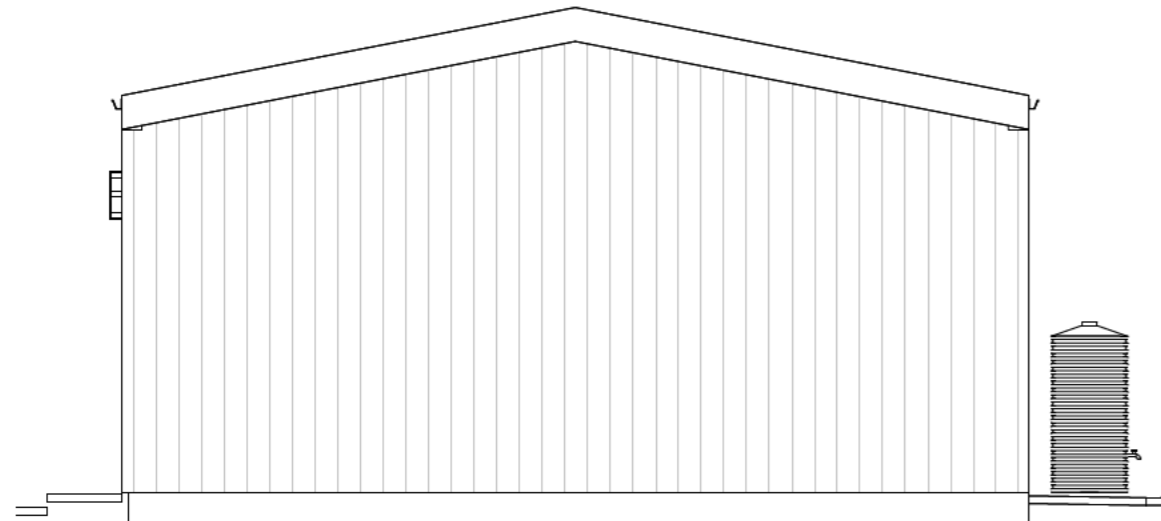
REGION COROWA
LOCATION 1-3 COBAR COURT COROWA
PROJECT NAME PROPOSED 7 x SHEDS INFRASTRUCTURE
DRAWING BOUNDARY EXTERNAL ELEVATIONS

LOT No. 1-3	DP No. 1282417/321	SHEET No. A106	OF 12	DRAWING No.	AMEND. 0	SHEET SIZE A2
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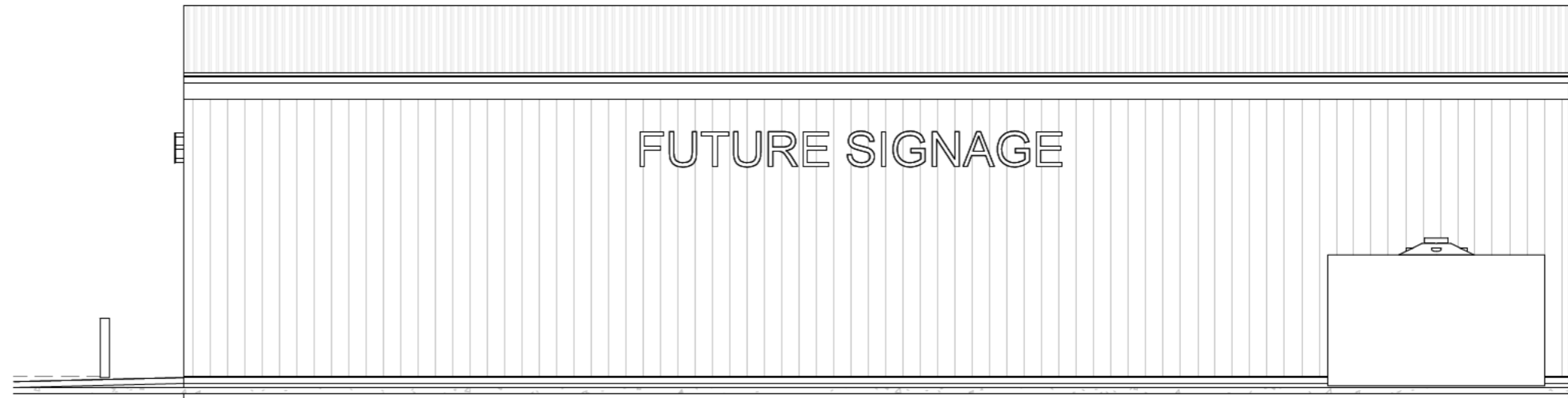
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
V4	DA REVIEW ISSUE	SO	26.7.24	ISKO
AMENDMENTS				

DEVELOPMENT CONTROL PLAN - SIGNAGE NOTE:

1. SIGNAGE TO BE RESTRICTED TO IDENTIFYING AND PROMOTING THE BUSINESS ACTIVITY OCCUPYING THE SITE AND THE GOODS AND SERVICES IT OFFERS.
2. FOR SINGLE OCCUPANT INDUSTRIAL SITES WITH HIGHWAY FRONTAGE, ONE LOW LEVEL FREE STANDING ADVERTISING SIGN MAY BE LOCATED BETWEEN THE BUILDING LINE AND THE ROAD BOUNDARY. THE SIGN IS TO GENERALLY BE NO MORE THAN 1m HIGH AND 6m IN LENGTH AND IS TO BE INTEGRATED WITH LANDSCAPING.
3. FOR SINGLE OCCUPANT INDUSTRIAL SITES WITHOUT FRONTAGE TO A HIGHWAY, A FREE STANDING POLE OR PYLON SIGN MAY BE USED AS AN ALTERNATIVE TO A LOW LEVEL SIGN. CONSENT MAY BE ASSUMED FOR A FREE STANDING POLE OR PYLON SIGN (ONE PER SITE ONLY) NOT EXCEEDING A MAXIMUM HEIGHT OF 5M WHICH INCORPORATES A SIGN PANEL NOT EXCEEDING 4.5M² IN AREA.
4. SIGNAGE RELATING TO A PRODUCT, ACTIVITY OR SERVICE UNRELATED TO THE BUSINESS ON THE SITE IS NOT PERMITTED.
5. ADVERTISING SIGNS AND STRUCTURES SHALL BE OF A SIZE, COLOUR AND DESIGN WHICH ARE COMPATIBLE WITH THE BUILDING TO WHICH THEY RELATE.
6. SIGNS SHOULD NOT VISUALLY DOMINATE THE AREA OF BUILDING WALLS NOR SHOULD THEY EXTEND ABOVE THE ROOF OF THE BUILDING.



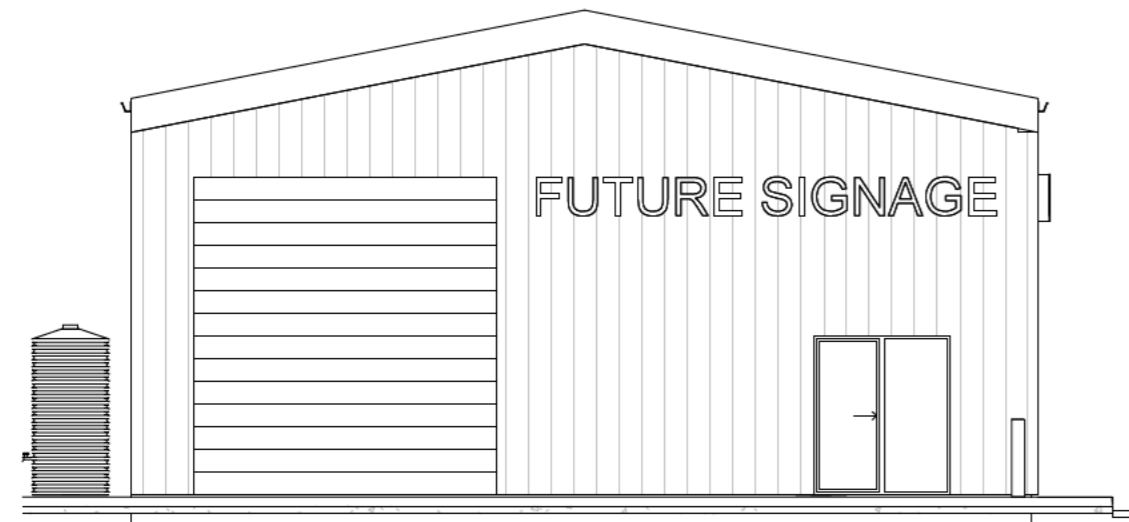
1 SHED 1 & 2 - ELEVATION 1
A104 1:100



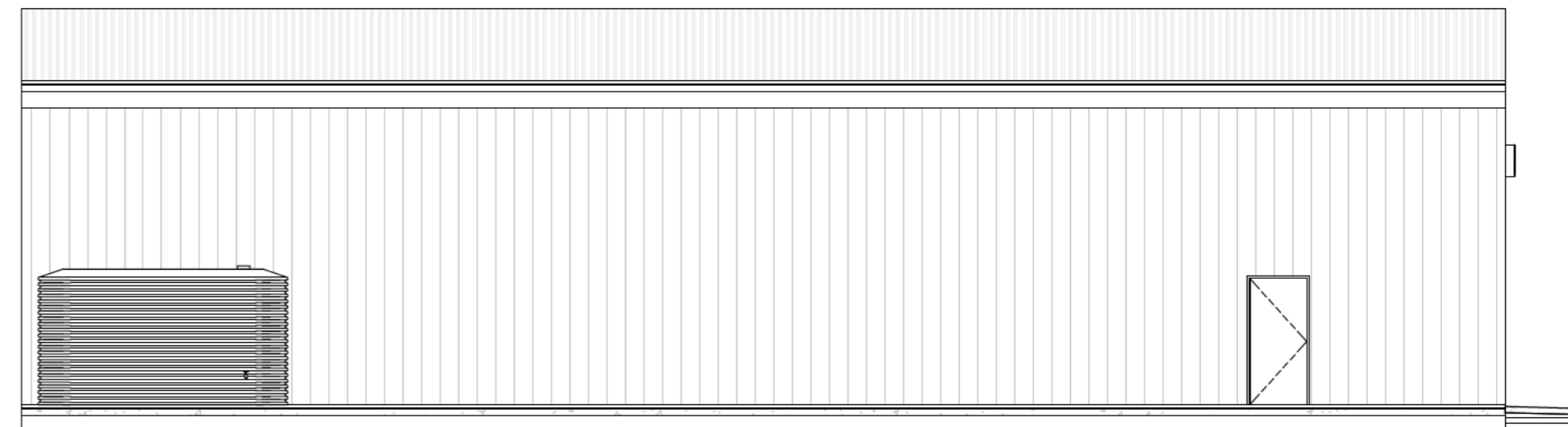
2 SHED 1 & 2 - ELEVATION 2
A104 1:100

SHED FINISHES SCHEDULE:

FLOOR	CONCRETE SLAB - NON SLIP
WALL CLADDING	COLORBOND MONOLITH - CUSTOM ORB
ROOF SHEETING	COLORBOND MONOLITH - CUSTOM ORB
ENTRY DOOR	POWDER COATED ALUMINIUM MONOLITH - DOUBLE GLAZED
ROLLER DOOR	COLORBOND MONOLITH
PA DOOR	POWDER COATED ALUMINIUM - STEEL FRAME
FLASHINGS	MONOLITH
WINDOWS	NA



3 SHED 1 & 2 - ELEVATION 3
A104 1:100



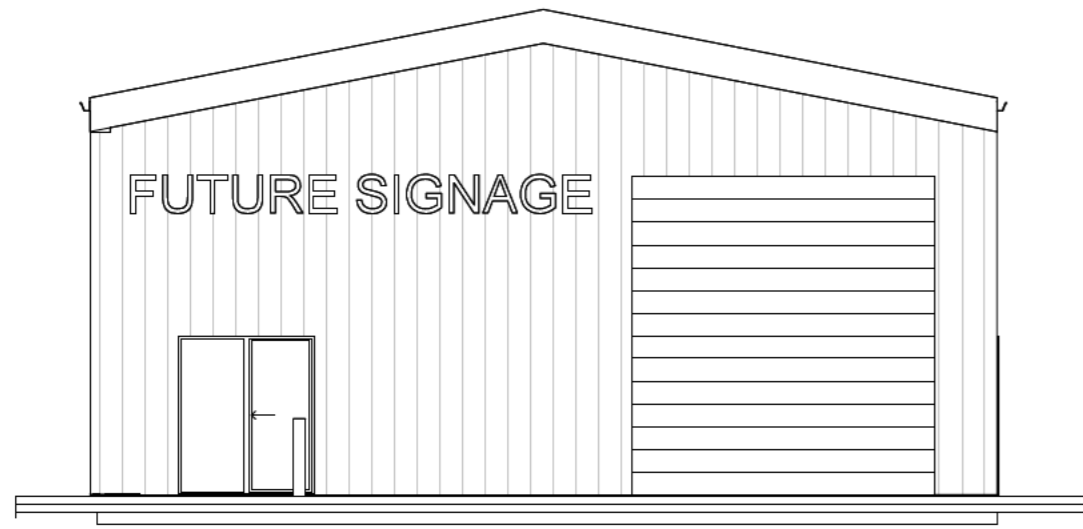
4 SHED 1 & 2 - ELEVATION 4
A104 1:100

V4	DA REVIEW ISSUE	SO	26.7.24	ISKO
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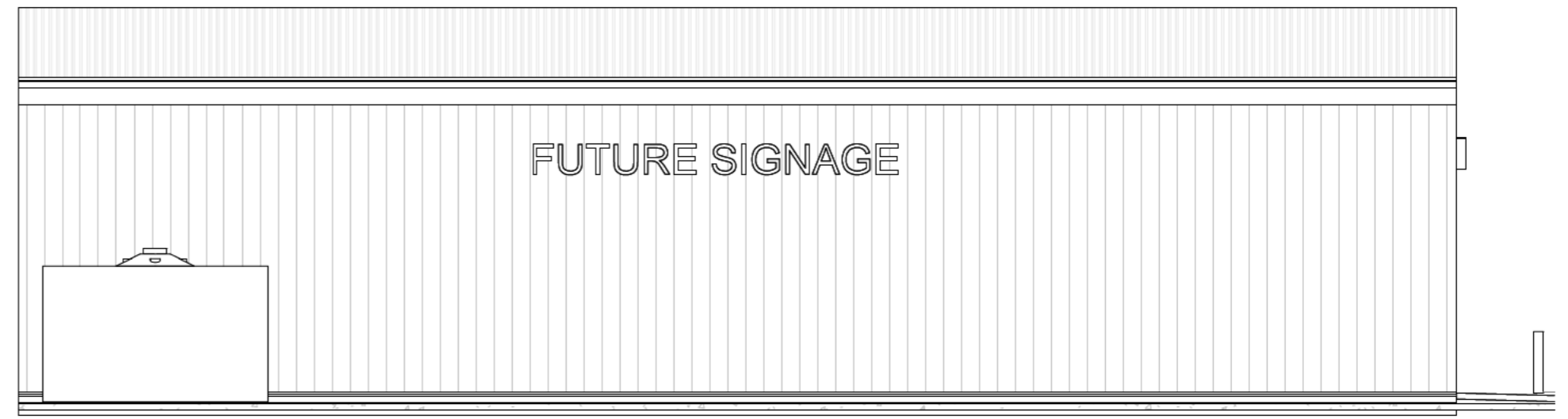
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REGION COROWA
 LOCATION 1-3 COBAR COURT COROWA
 PROJECT NAME PROPOSED 7 x SHEDS INFRASTRUCTURE
 DRAWING ELEVATIONS - SHED 1 & SHED 2

LOT No.	DP No.	SHEET No.	OF	12	DRAWING No.	AMEND.	SHEET SIZE
1-3	1282417/321	A107				0	A2



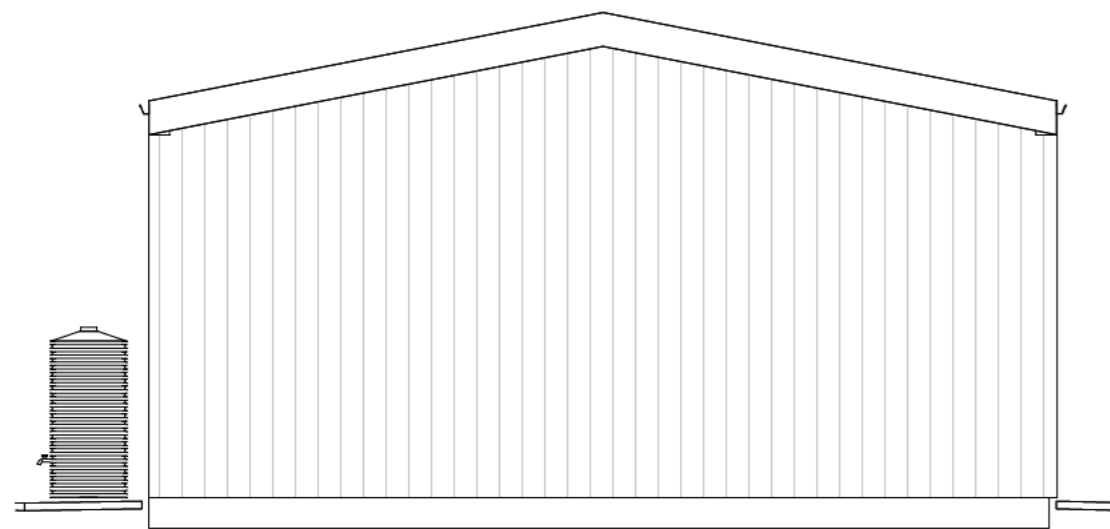
1 SHEDS 4,5,6 - ELEVATION 1
A104 1:100



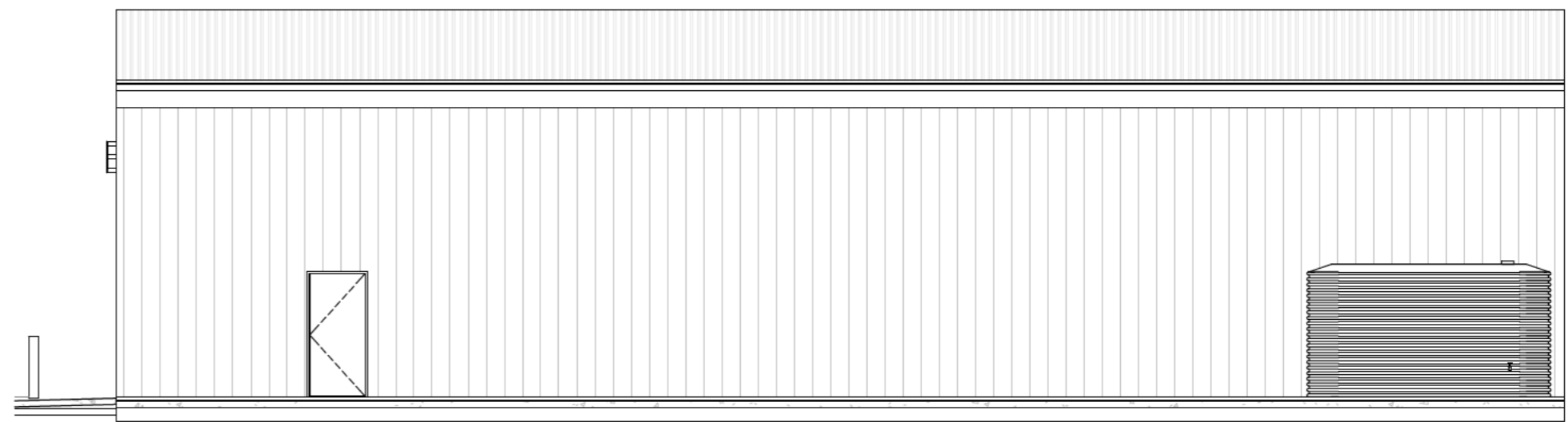
2 SHEDS 4,5,6 - ELEVATION 2
A104 1:100

SHED FINISHES SCHEDULE:

FLOOR	CONCRETE SLAB - NON SLIP
WALL CLADDING	COLORBOND MONOLITH - CUSTOM ORB
ROOF SHEETING	COLORBOND MONOLITH - CUSTOM ORB
ENTRY DOOR	POWDER COATED ALUMINIUM MONOLITH - DOUBLE GLAZED
ROLLER DOOR	COLORBOND MONOLITH
PA DOOR	POWDER COATED ALUMINIUM - STEEL FRAME
FLASHINGS	MONOLITH
WINDOWS	NA



3 SHEDS 4,5,6 - ELEVATION 3
A104 1:100

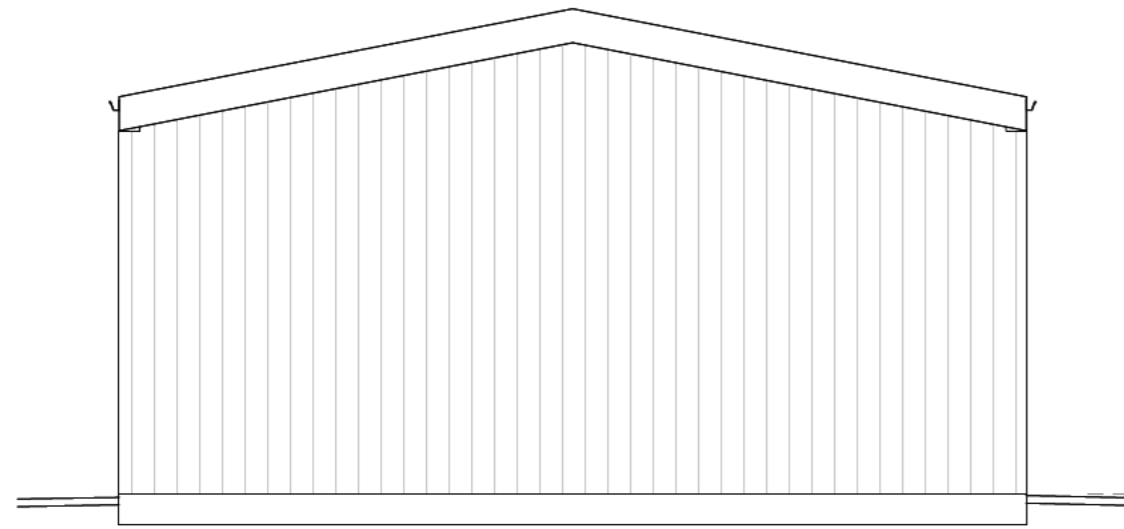


4 SHEDS 4,5,6 - ELEVATION 4
A104 1:100

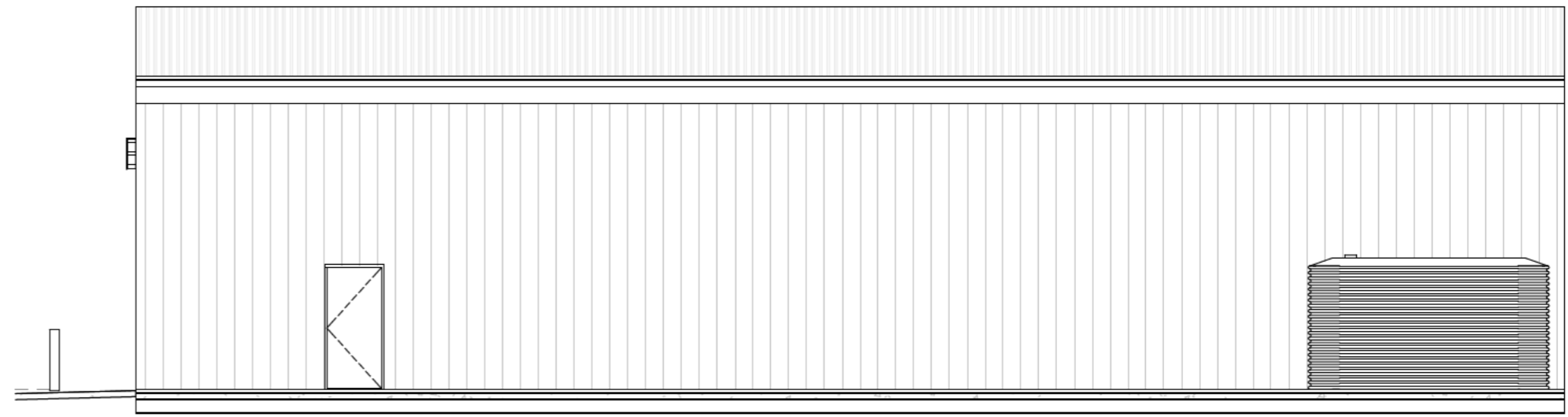
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PROJECT NAME	PROPOSED 7 x SHEDS INFRASTRUCTURE				
DRAWING	ELEVATIONS - SHEDS 4, 5, 6				
LOT No.	DP No.	SHEET No.	OF	12	DRAWING No.
1-3	1282417/321	A108			AMEND. 0
					SHEET SIZE A2



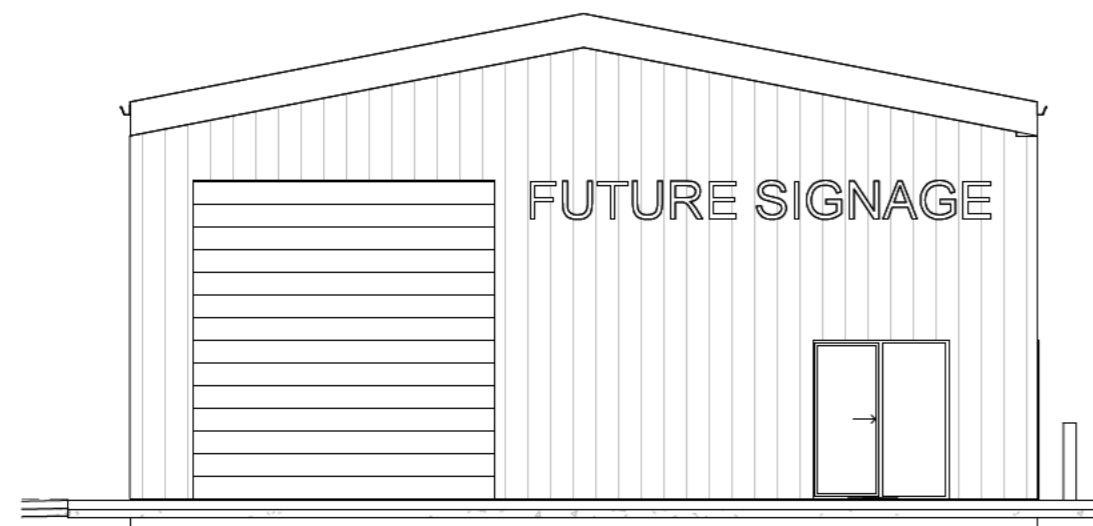
1 SHED 3 - ELEVATION 1
A104 1:100



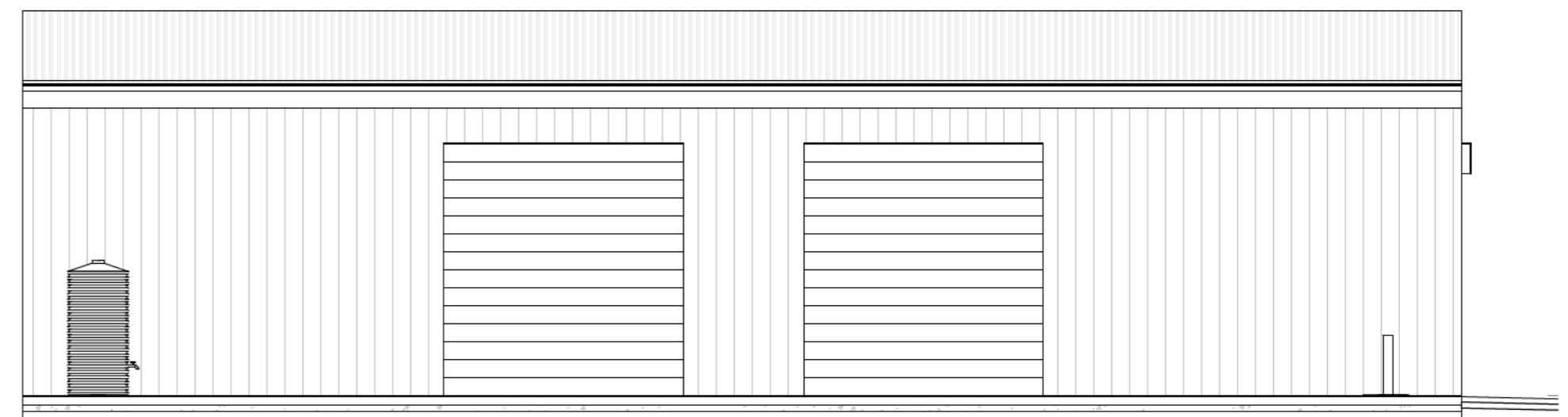
2 SHED 3 - ELEVATION 2
A104 1:100

SHED FINISHES SCHEDULE:

FLOOR	CONCRETE SLAB - NON SLIP
WALL CLADDING	COLORBOND MONOLITH - CUSTOM ORB
ROOF SHEETING	COLORBOND MONOLITH - CUSTOM ORB
ENTRY DOOR	POWDER COATED ALUMINIUM MONOLITH - DOUBLE GLAZED
ROLLER DOOR	COLORBOND MONOLITH
PA DOOR	POWDER COATED ALUMINIUM - STEEL FRAME
FLASHINGS	MONOLITH
WINDOWS	NA



3 SHED 3 - ELEVATION 3
A104 1:100



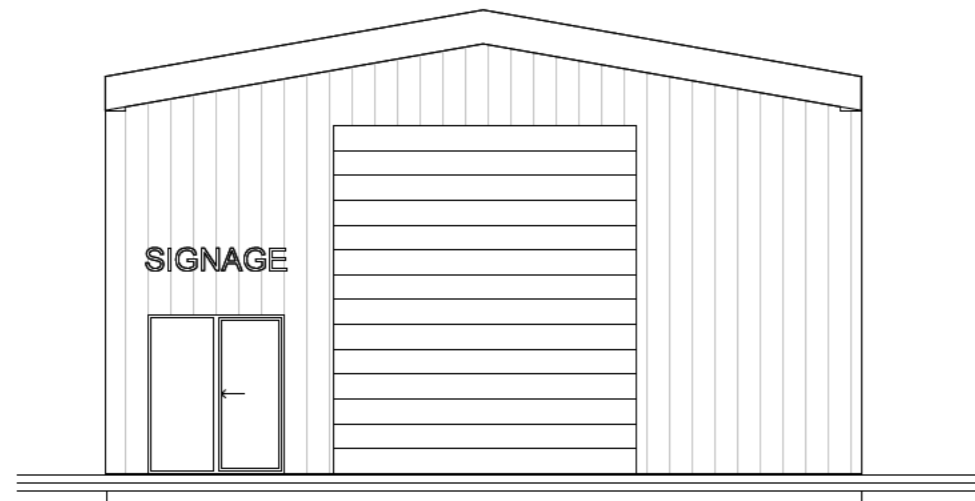
4 SHED 3 - ELEVATION 4
A104 1:100

V4	DA REVIEW ISSUE	SO	26.7.24	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				

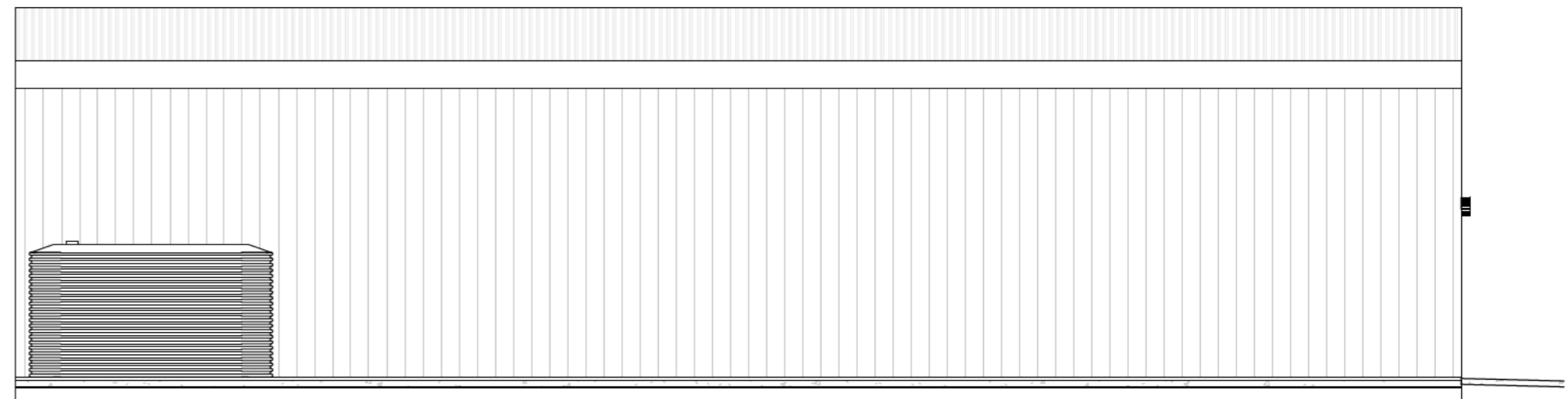
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REGION COROWA
 LOCATION 1-3 COBAR COURT COROWA
 PROJECT NAME PROPOSED 7 x SHEDS INFRASTRUCTURE
 DRAWING ELEVATIONS - SHED 3

LOT No. 1-3	DP No. 1282417/321	SHEET No. A109	OF 12	DRAWING No.	AMEND. 0	SHEET SIZE A2
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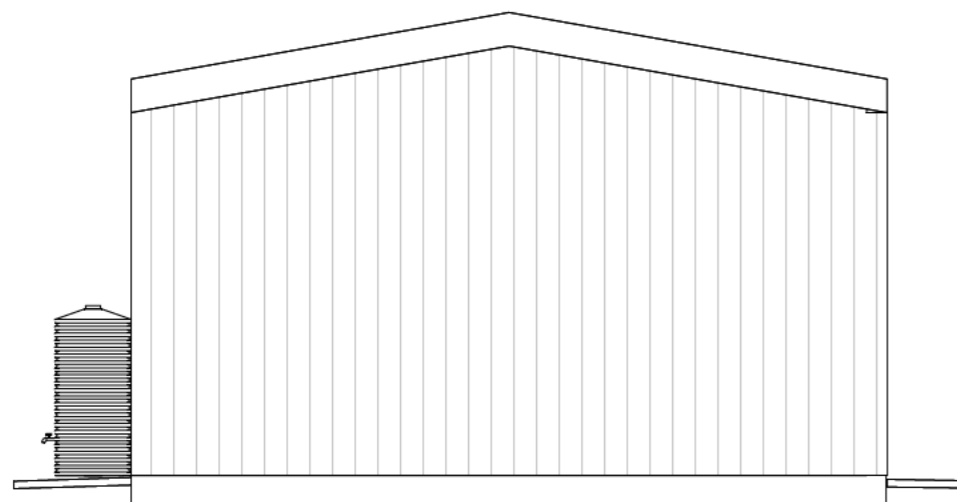
1
A104 SHED 7 - ELEVATION 1
1:100



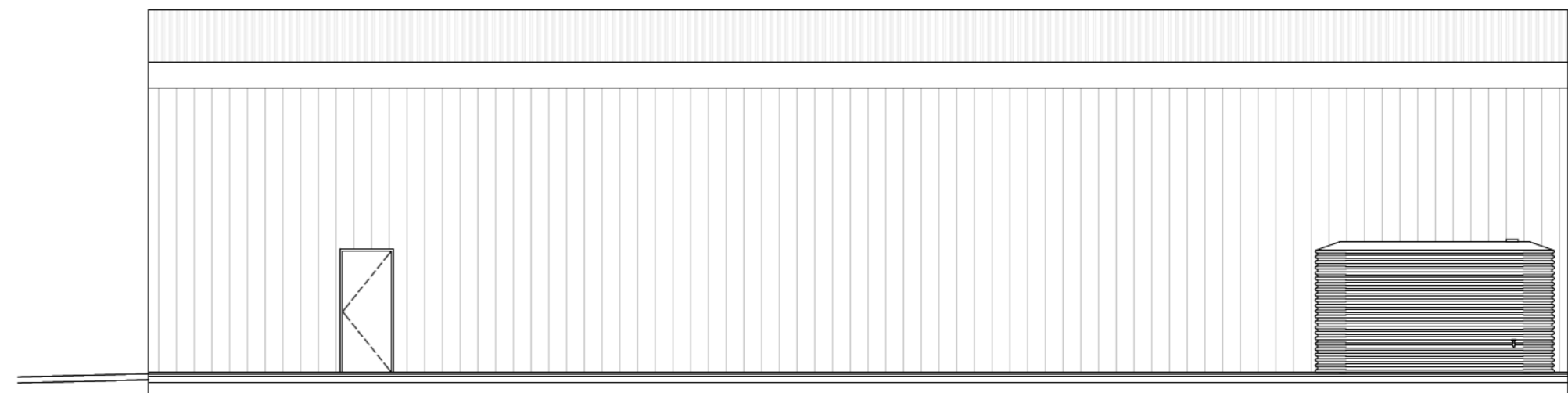
2
A104 SHED 7 - ELEVATION 2
1:100

SHED FINISHES SCHEDULE:

FLOOR	CONCRETE SLAB - NON SLIP
WALL CLADDING	COLORBOND MONOLITH - CUSTOM ORB
ROOF SHEETING	COLORBOND MONOLITH - CUSTOM ORB
ENTRY DOOR	POWDER COATED ALUMINIUM MONOLITH - DOUBLE GLAZED
ROLLER DOOR	COLORBOND MONOLITH
PA DOOR	POWDER COATED ALUMINIUM - STEEL FRAME
FLASHINGS	MONOLITH
WINDOWS	NA



3
A104 SHED 7 - ELEVATION 3
1:100



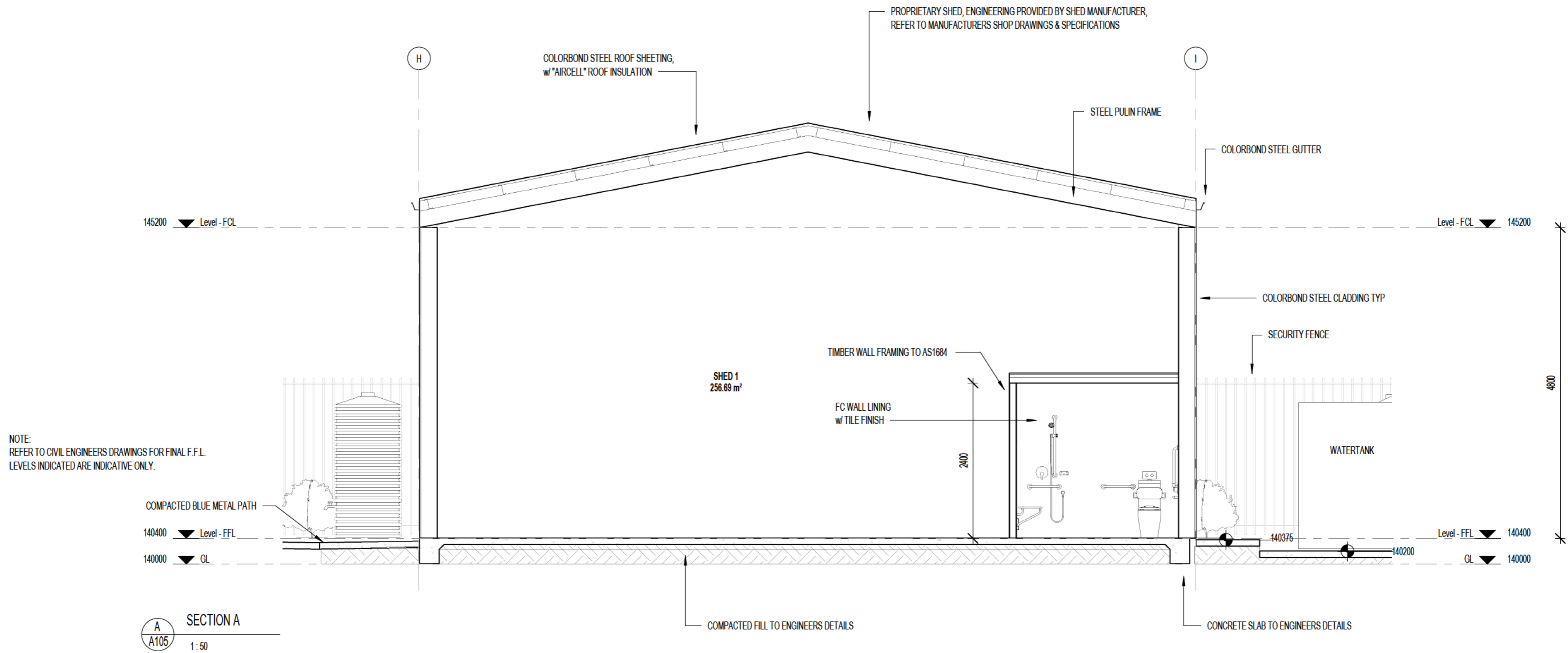
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A104 SHED 7 - ELEVATION 4
1:100

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REGION COROWA
 LOCATION 1-3 COBAR COURT COROWA
 PROJECT NAME PROPOSED 7 x SHEDS INFRASTRUCTURE
 DRAWING ELEVATIONS - SHED 7

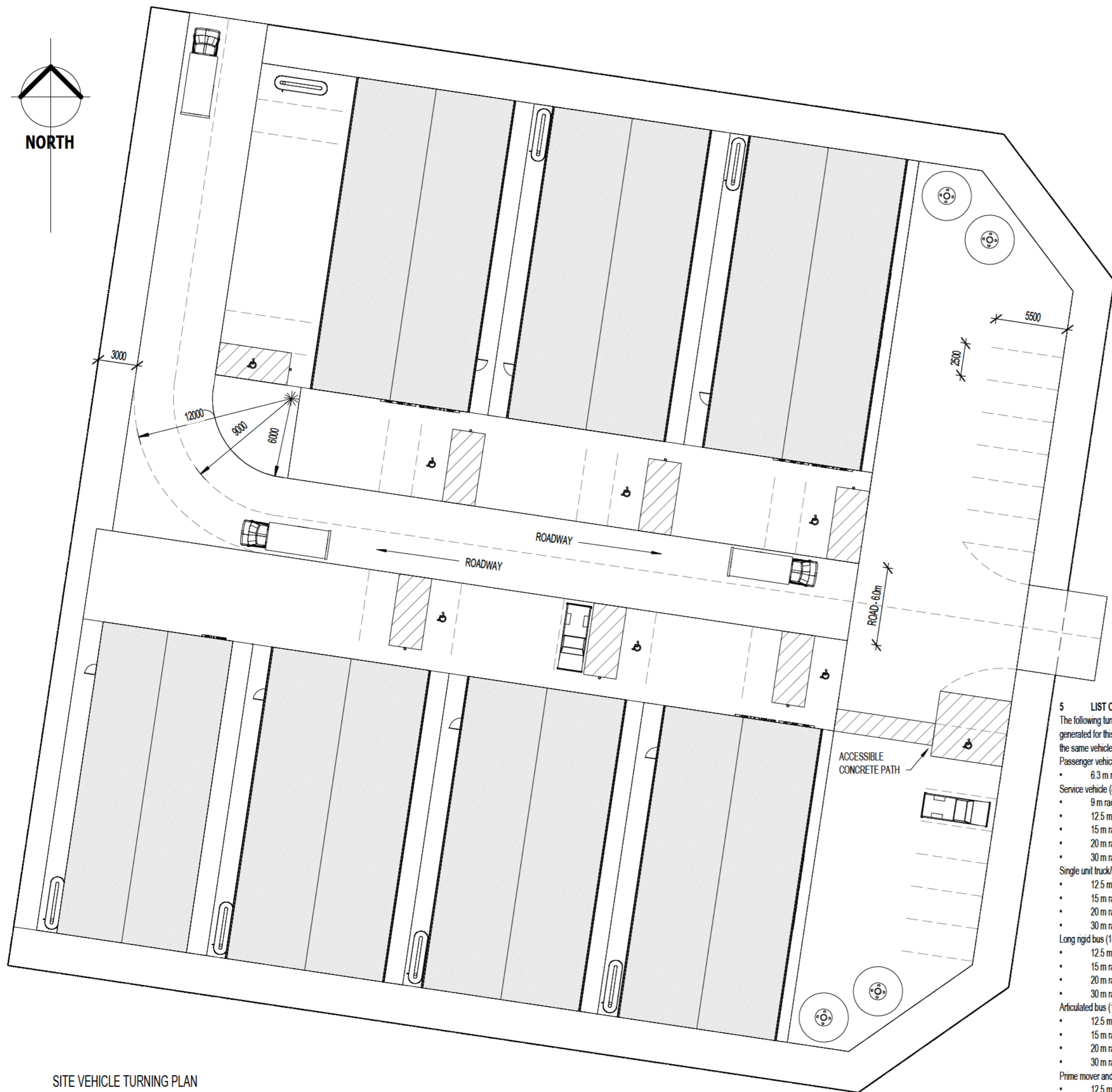
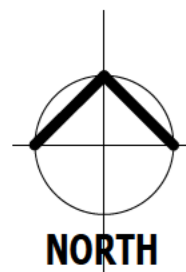
LOT No. 1-3	DP No. 1282417/321	SHEET No. A110	OF 12	DRAWING No.	AMEND. 0	SHEET SIZE A2
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REGION	COROWA				
LOCATION	1-3 COBAR COURT COROWA				
PROJECT NAME	PROPOSED 7 x SHEDS INFRASTRUCTURE				
DRAWING	SECTION A - DETAILS				
LOT No.	DP No.	SHEET No.	OF	DRAWING No.	AMEND.
1-3	1282417/321	A111	12		0
				SHEET SIZE	A2



SITE VEHICLE TURNING PLAN

1:250

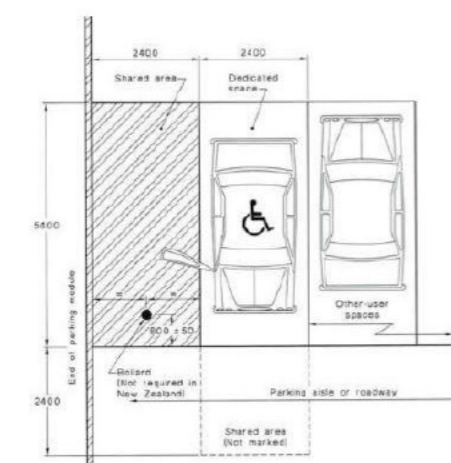
5 LIST OF TURNING TEMPLATES

The following turning templates can be obtained from the Austrroads website. The templates generated for this update of the *Design Vehicles and Turning Path Template Guide* cover the same vehicles as those as listed in the 2006 guide with some amendments.

- Passenger vehicle (5.2 m)
 - 6.3 m radius
- Service vehicle (8.8 m)
 - 9 m radius, 5 km/h
 - 12.5 m radius, 5 km/h
 - 15 m radius, 5 to 15 km/h
 - 20 m radius, 15 to 20 km/h
 - 30 m radius, 20 to 30 km/h
- Single unit truck/bus (12.5 m)
 - 12.5 m radius, 5 km/h
 - 15 m radius, 5 to 15 km/h
 - 20 m radius, 15 to 20 km/h
 - 30 m radius, 20 to 30 km/h
- Long rigid bus (14.5 m)
 - 12.5 m radius, 5 km/h
 - 15 m radius, 5 to 15 km/h
 - 20 m radius, 15 to 20 km/h
 - 30 m radius, 20 to 30 km/h
- Articulated bus (19 m)
 - 12.5 m radius, 5 km/h
 - 15 m radius, 5 to 15 km/h
 - 20 m radius, 15 to 20 km/h
 - 30 m radius, 20 to 30 km/h
- Prime mover and semi-trailer (19 m)
 - 12.5 m radius, 5 km/h
 - 15 m radius, 5 to 15 km/h
 - 20 m radius, 15 to 20 km/h
 - 30 m radius, 20 to 30 km/h

- ANGLE PARKING**
- Dedicated Space - 2400mm x 5400mm (additional shared area of 2400mm x 2400mm at either end)
 - Shared Space - 2400mm x 5400mm (required on one side of the dedicated space)
 - Headroom Height - 2500mm minimum

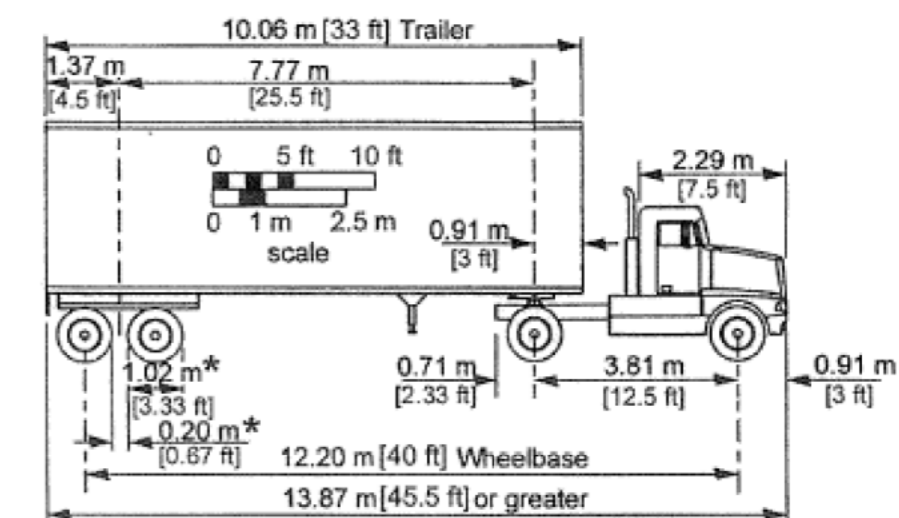
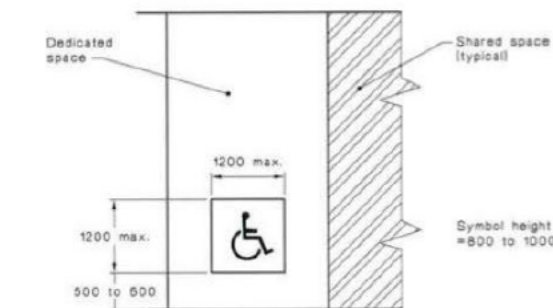
- BOLLARD**
- Location - 800 ± 50 from entry (measured from parking line)
 - Centre of Space - 1200mm (based on 2400mm parking space)



TYPICAL DISABLED PARKING FACILITY

- PARALLEL PARKING**
- Dedicated Space - 3200mm x 7800mm
 - Shared Space - 1500mm x 7800mm (required on one side of the dedicated space)
 - Headroom Height - 2500mm minimum

- IDENTIFICATION/SIGNAGE**
- Symbol Height - 800 to 1000mm (white symbol on blue background)
 - Dimensions - 1200mm x 1200mm
 - Location - 500 to 600mm (measured from parking line)
 - Shared Space - 80 to 100mm wide unbroken yellow lines



* Typical tire size and space between tires applies to all trailers.

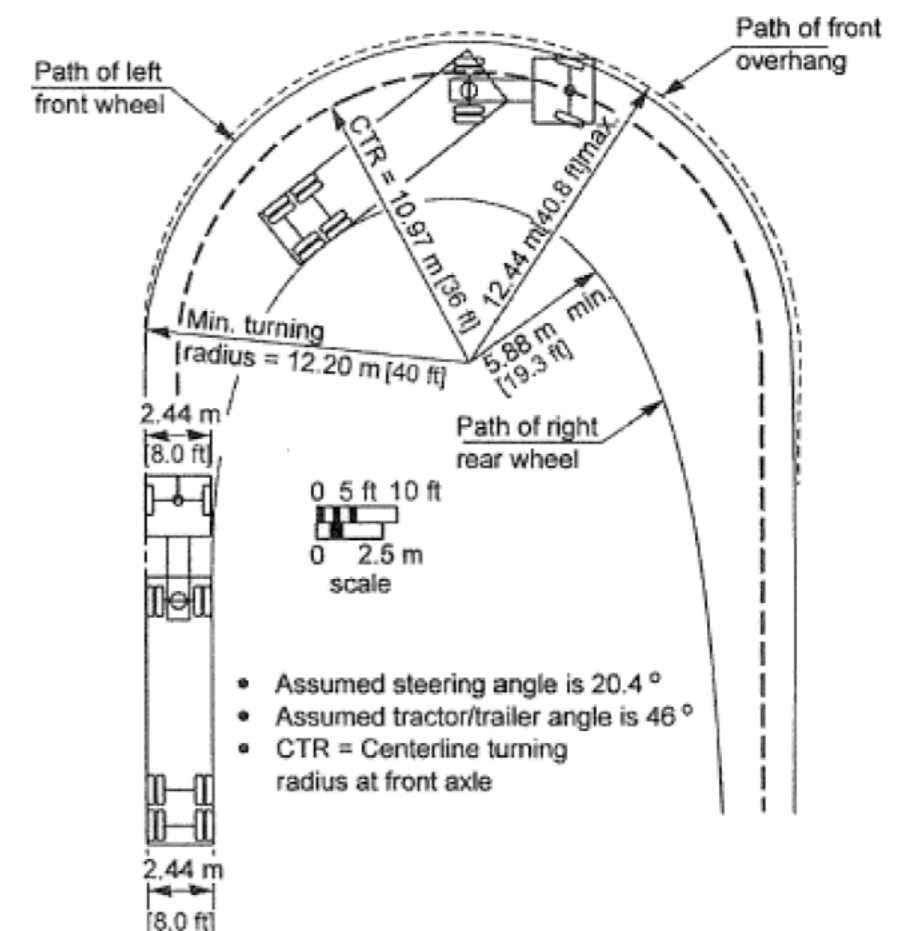


Exhibit 2-13. Minimum Turning Path for Intermediate Semitrailer (WB-12 [WB-40]) Design Vehicle

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REGION	COROWA				
LOCATION	1-3 COBAR COURT COROWA				
PROJECT NAME	PROPOSED 7 x SHEDS INFRASTRUCTURE				
DRAWING	VEHICLE TURNING PATH				
LOT No.	DP No.	SHEET No.	OF	DRAWING No.	AMEND.
1-3	1282417/321	A112	12	0	SHEET SIZE A2