

**Applicant contact details**

Title	Mr
First given name	Matthew
Other given name/s	
Family name	McQualter
Contact number	
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

**Owner/s of the development site**

Owner/s of the development site	I am the only owner of the development site
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**Site access details**

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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**Developer details**

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

**Development details**

Application type	Modification Application
On what date was the development application to be notified determined	21/02/2024
Type of modification requested	S4.55(1A) - Modification involving minimal environmental impact, where the development will remain substantially the same as the development that was originally approved
Development Application number of the consent to be modified	
Description of the proposed modification	To confirm building size and total footprint. To confirm size of the bays in the Industrial shed
Was the DA applied for via the NSW Planning Portal?	Yes
Please provide portal application number (PAN)	PAN-311719
Site address #	1
Street address	76 MCCARTHY STREET MULWALA 2647
Local government area	FEDERATION
Lot / Section Number / Plan	46/-/DP1257361 <input checked="" type="checkbox"/>
Primary address?	Yes
	Land Application LEP NA

Planning controls affecting property	Land Zoning	NA
	Height of Building	NA
	Floor Space Ratio (n:1)	NA
	Minimum Lot Size	NA
	Heritage	NA
	Land Reservation Acquisition	NA
	Foreshore Building Line	NA

### Proposed development

Selected common application types	Erection of a new structure
Selected development types	General industry
Description of development	Construction of an new shed on Vacant land
Provide the proposed hours of operation	
Proposed to operate 24 hours on Monday	
Monday	-
Proposed to operate 24 hours on Tuesday	
Tuesday	-
Proposed to operate 24 hours on Wednesday	
Wednesday	-
Proposed to operate 24 hours on Thursday	
Thursday	-
Proposed to operate 24 hours on Friday	
Friday	-
Proposed to operate 24 hours on Saturday	
Saturday	-
Proposed to operate 24 hours on Sunday	
Sunday	-
<b>Dwelling count details</b>	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	
Existing gross floor area (m2)	
Proposed gross floor area (m2)	576
Total site area (m2)	
Total net lettable area (m2)	
<b>Cost of development</b>	
Estimated cost of work / development (including GST)	\$330,300.00
Capital Investment Value (CIV)	\$330,300.00
Do you have one or more BASIX certificates?	
<b>Climate Zone</b>	
What climate zone/s is the development in?	Climate zone 8 - alpine
Has the climate zone impacted the	

design of the development?	No
<b>Subdivision</b>	
Number of existing lots	
<b>Proposed operating details</b>	
Number of additional jobs that are proposed to be generated through the operation of the development	
Number of staff/employees on the site	2

#### Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
<b>Concept development</b>	
Is the development to be staged?	No, this application is not for concept or staged development.
<b>Crown development</b>	
Is this a proposed Crown development?	No

#### Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
<b>Section 68 of the Local Government Act</b>	
Is approval under s68 of the Local Government Act 1993 required?	Yes
Have you already applied for approval under s68 of the Local Government Act?	No
Would you like to apply for approval under s68 of the Local Government Act?	No
<b>10.7 Certificate</b>	
Have you already obtained a 10.7 certificate?	
<b>Tree works</b>	
Is tree removal and/or pruning work proposed?	No
<b>Local heritage</b>	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No

Is heritage tree removal proposed?	No
<b>Affiliations and Pecuniary interests</b>	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
<b>Political Donations</b>	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

### Sustainable Buildings

Is the development exempt from the <a href="#">State Environmental Policy (Sustainable Buildings) 2022</a> Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	A modification or a review to a development application, or a review of determination, where the original application was submitted on the NSW Planning Portal before 1 October 2023.

### Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	Matthew
Other given name(s)	
Family name	McQualter
Contact number	██████████
Email address	████████████████████
Billing address	████████████████████

### Application documents

The following documents support the application.

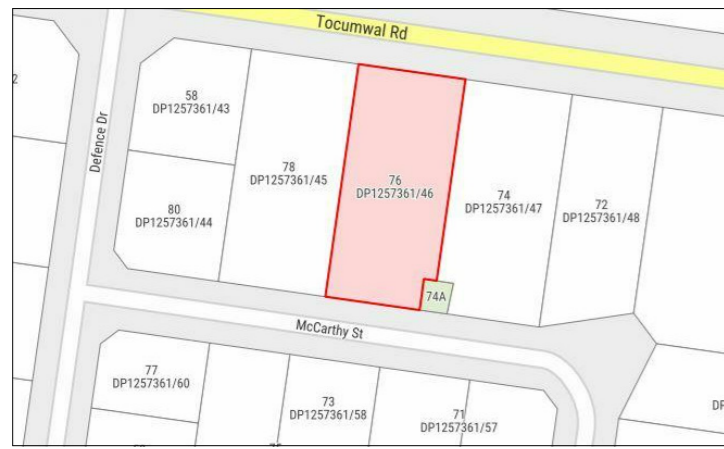
Document type	Document file name
Other	DA Modification cover letter
Site Plans	76 McCarthy St Mulwala DA-CC drawings REV2 23-11-23

### Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
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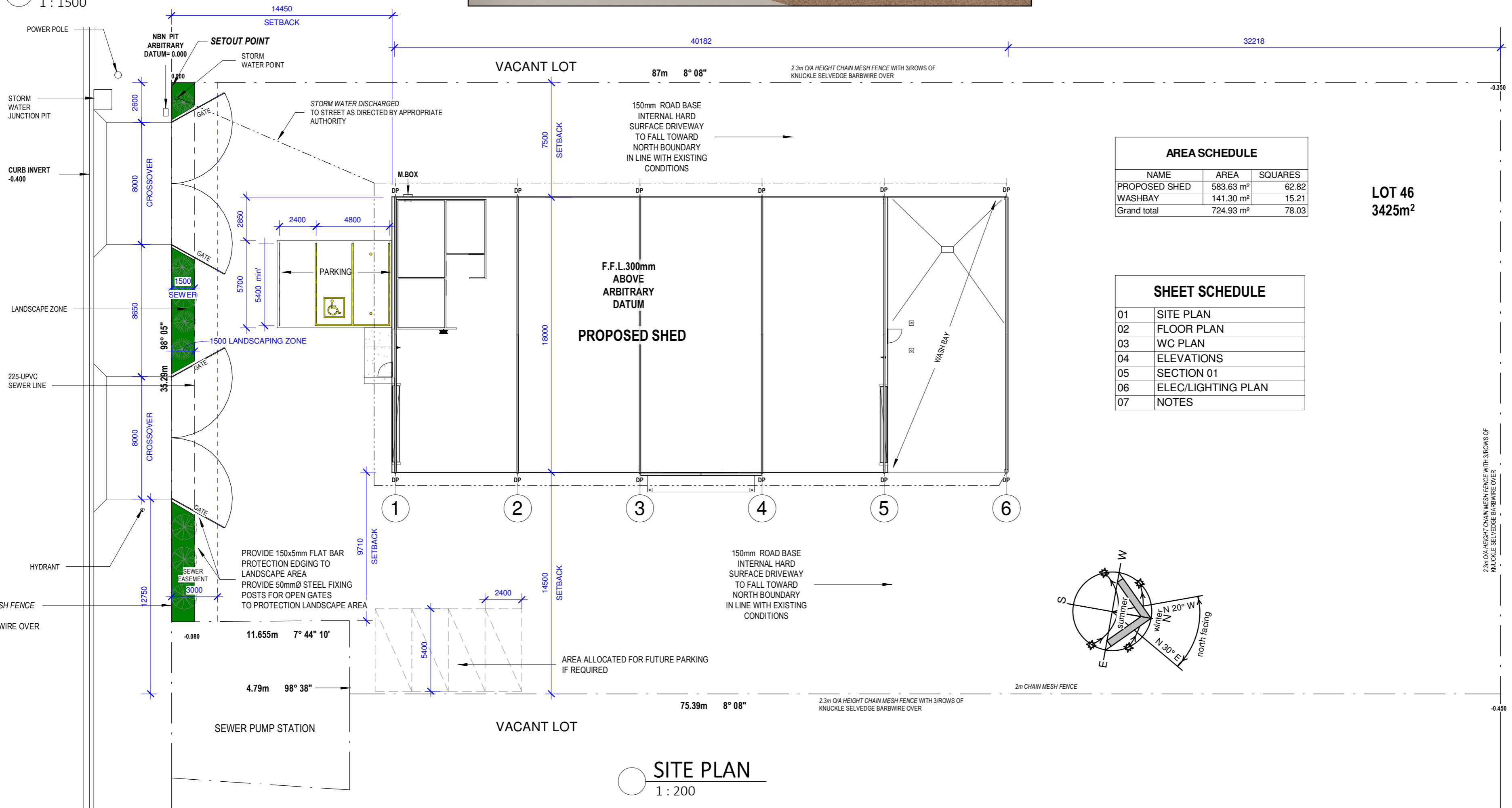
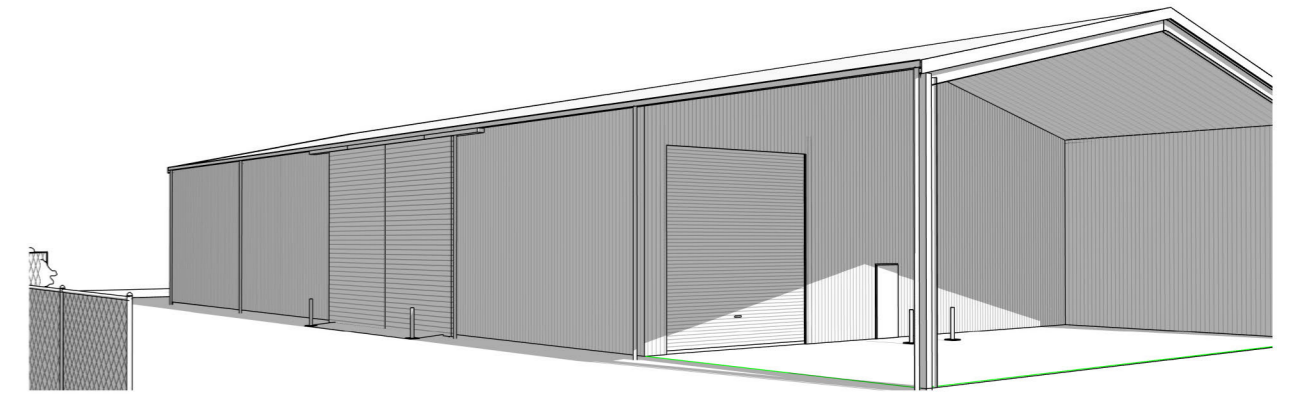
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I agree to pay any required NSW Planning Portal Service Fee/s specified under Schedule 4 of the Environmental Planning and Assessment Regulation 2021 to the Department of Planning, Housing and Infrastructure.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

ADDRESS: 76 McCATHY STREET, MULWALA, NSW, 2647  
 LOT & PLAN NUMBER: Lot 46 DP1257361  
 LOCAL GOVERNMENT AREA: FEDERATION SHIRE  
 LEP ZONE IN1 - GENERAL INDUSTRIAL



LOCALITY PLAN

1 : 1500



**AREA SCHEDULE**

NAME	AREA	SQUARES
PROPOSED SHED	583.63 m <sup>2</sup>	62.82
WASHBAY	141.30 m <sup>2</sup>	15.21
Grand total	724.93 m <sup>2</sup>	78.03

LOT 46  
3425m<sup>2</sup>

**SHEET SCHEDULE**

01	SITE PLAN
02	FLOOR PLAN
03	WC PLAN
04	ELEVATIONS
05	SECTION 01
06	ELEC/LIGHTING PLAN
07	NOTES

SITE PLAN  
1 : 200

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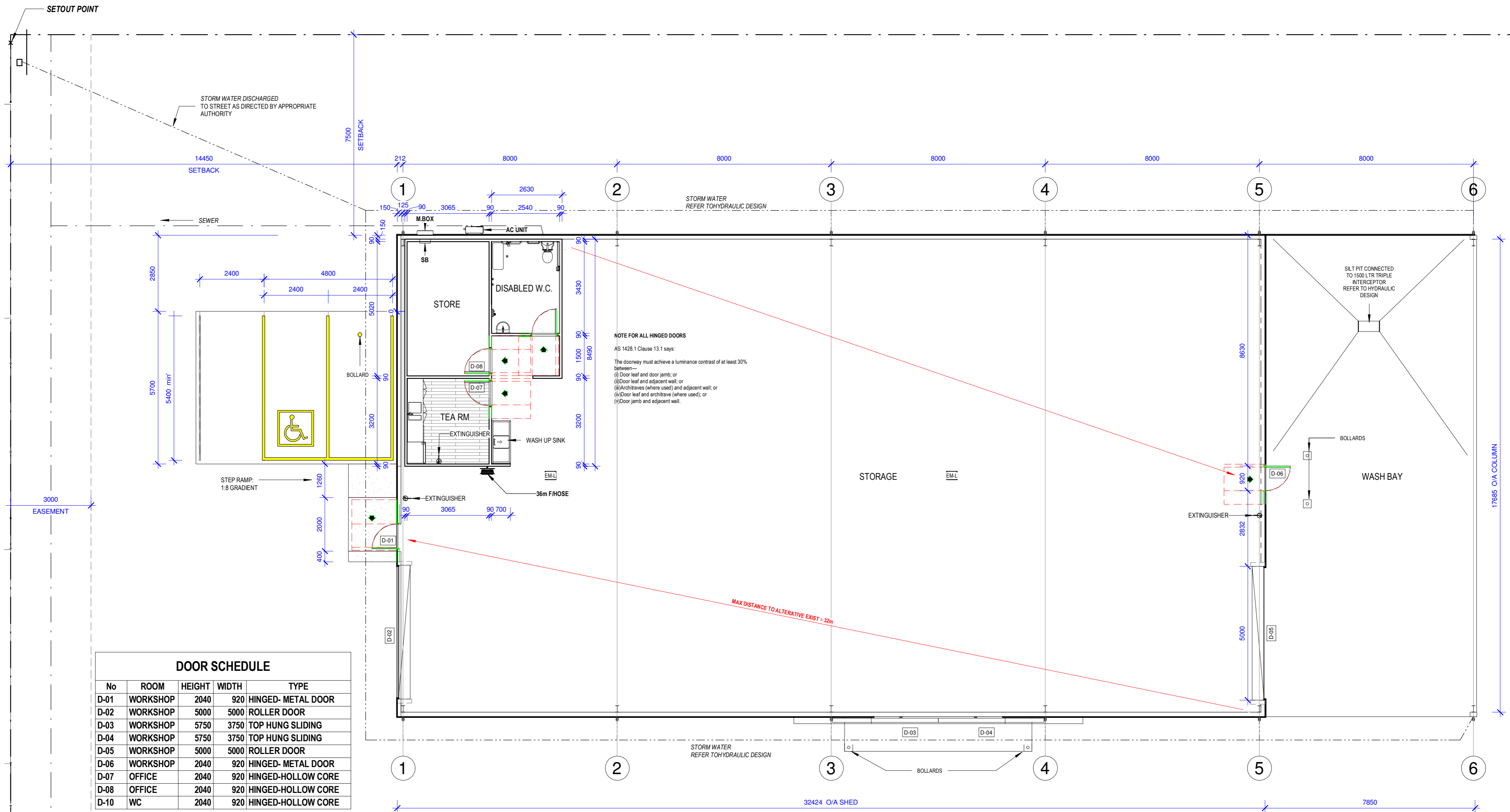
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 ALL WORKS TO CONFORM  
 TO NCC & ALL  
 RELEVANT STANDARDS

**PROPOSED STORAGE SHED**  
 Client: MATT McQUALTER  
 Address:  
 76 McCATHY STREET, MULWALA,  
 2647

SHEET NAME:	REV:	DESCRIPTION	DATE
SITE PLAN SHEET No: 01 Scale: As Shown Date: 09/07/2022 Project No: 70/22 Drawn By: SAR Chk: SAR	R1	CONCEPT DRAWINGS	15-07-22
	R2	PRELIM' REVISION 02	16-07-22
	R3	PRELIM' REVISION 03	19-09-22
	R4	PRELIM' REVISION 05	00-00-00
	R5	DA/CC DRAWINGS REV2	23-11-23

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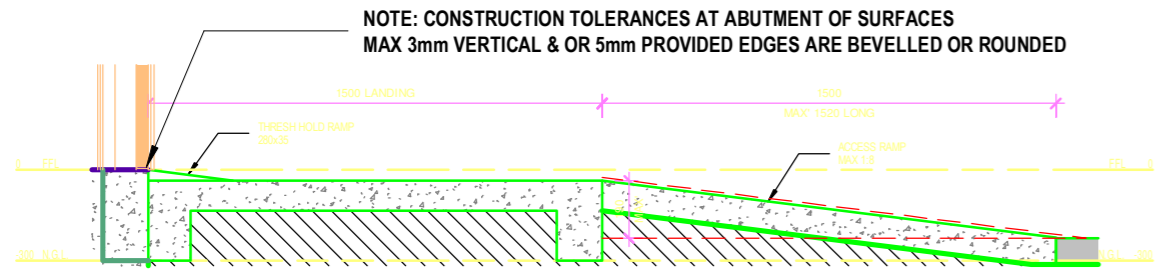


**NOTE FOR ALL HINGED DOORS**  
 AS 1428.1 Clause 13.1 says:  
 The doorway must achieve a luminance contrast of at least 30% between—  
 (i) Door leaf and door jamb, or  
 (ii) Door leaf and adjacent wall, or  
 (iii) Architraves (where used) and adjacent wall, or  
 (iv) Door leaf and architrave (where used), or  
 (v) Door jamb and adjacent wall.

DOOR SCHEDULE				
No	ROOM	HEIGHT	WIDTH	TYPE
D-01	WORKSHOP	2040	920	HINGED- METAL DOOR
D-02	WORKSHOP	5000	5000	ROLLER DOOR
D-03	WORKSHOP	5750	3750	TOP HUNG SLIDING
D-04	WORKSHOP	5750	3750	TOP HUNG SLIDING
D-05	WORKSHOP	5000	5000	ROLLER DOOR
D-06	WORKSHOP	2040	920	HINGED- METAL DOOR
D-07	OFFICE	2040	920	HINGED-HOLLOW CORE
D-08	OFFICE	2040	920	HINGED-HOLLOW CORE
D-10	WC	2040	920	HINGED-HOLLOW CORE

AREA SCHEDULE		
NAME	AREA	SQUARES
PROPOSED SHED	583.63 m <sup>2</sup>	62.82
WASHBAY	141.30 m <sup>2</sup>	15.21
Grand total	724.93 m <sup>2</sup>	78.03

ROOM SCHEDULE		
NAME	FLR FINISH	AREA
STORAGE	NATURAL CONCRETE	545.41 m <sup>2</sup>
WASH BAY	NATURAL CONCRETE	139.64 m <sup>2</sup>
STORE	NATURAL CONCRETE	15.39 m <sup>2</sup>
TEA RM	SELECTED VINYL	9.81 m <sup>2</sup>
DISABLED W.C.	SELECTED VINYL	8.69 m <sup>2</sup>
Grand total		718.94 m <sup>2</sup>



**TYPICAL RAMP DETAIL**  
 1 : 25

**FLOOR PLAN**  
 1 : 100

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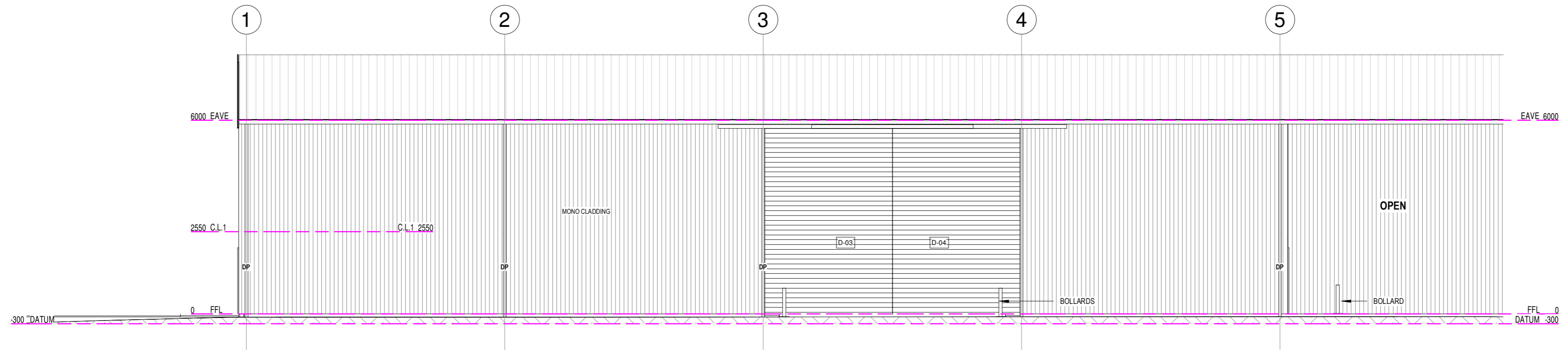
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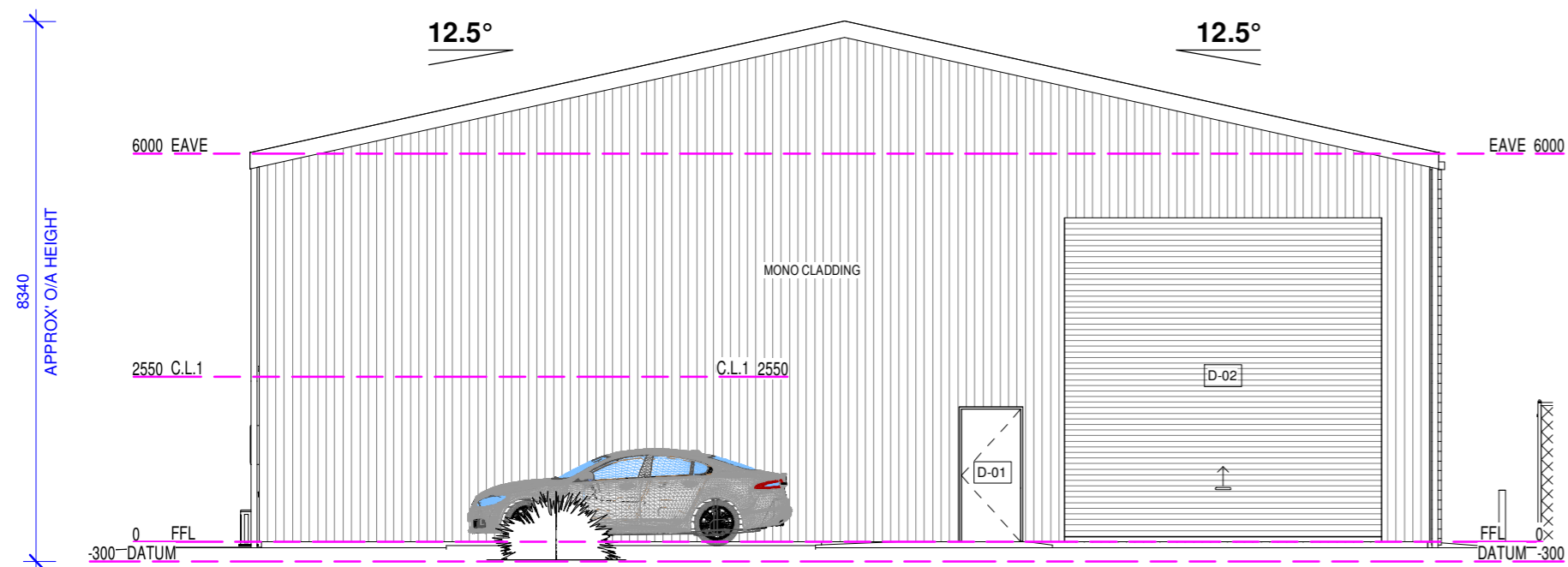
SHEET NAME:		REV:	DESCRIPTION	DATE	Copyright of these drawings are the property of Stephen Richmond Building Design & Consultancy. The drawings & design may not be used or reproduced without the expressed approval of the designer. SHEET SIZE A2
<b>FLOOR PLAN</b>		R1	CONCEPT DRAWINGS	15-07-22	
SHEET No: 02	Scale: As Shown	R2	PRELIM' REVISION 02	16-07-22	
Date: 09/07/2022		R3	PRELIM' REVISION 03	19-09-22	
Project No: 70/22		R4	PRELIM' REVISION 05	00-00-00	
Drawn By: SAR	Chk: SAR	R5	DA/CC DRAWINGS REV2	23-11-23	



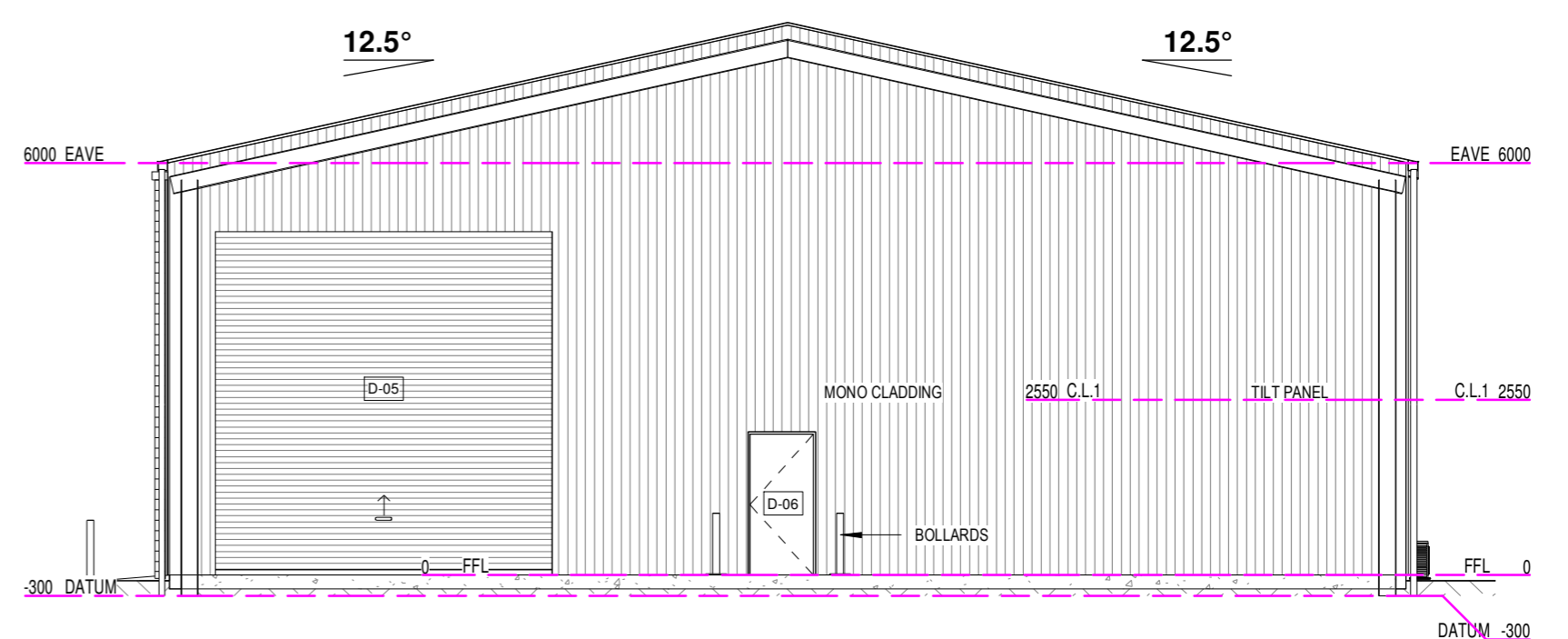




**EAST ELEVATION**  
1 : 100



**SOUTH ELEVATION**  
1 : 100



**NORTH ELEVATION**  
1 : 100



**WEST ELEVATION**  
1 : 100

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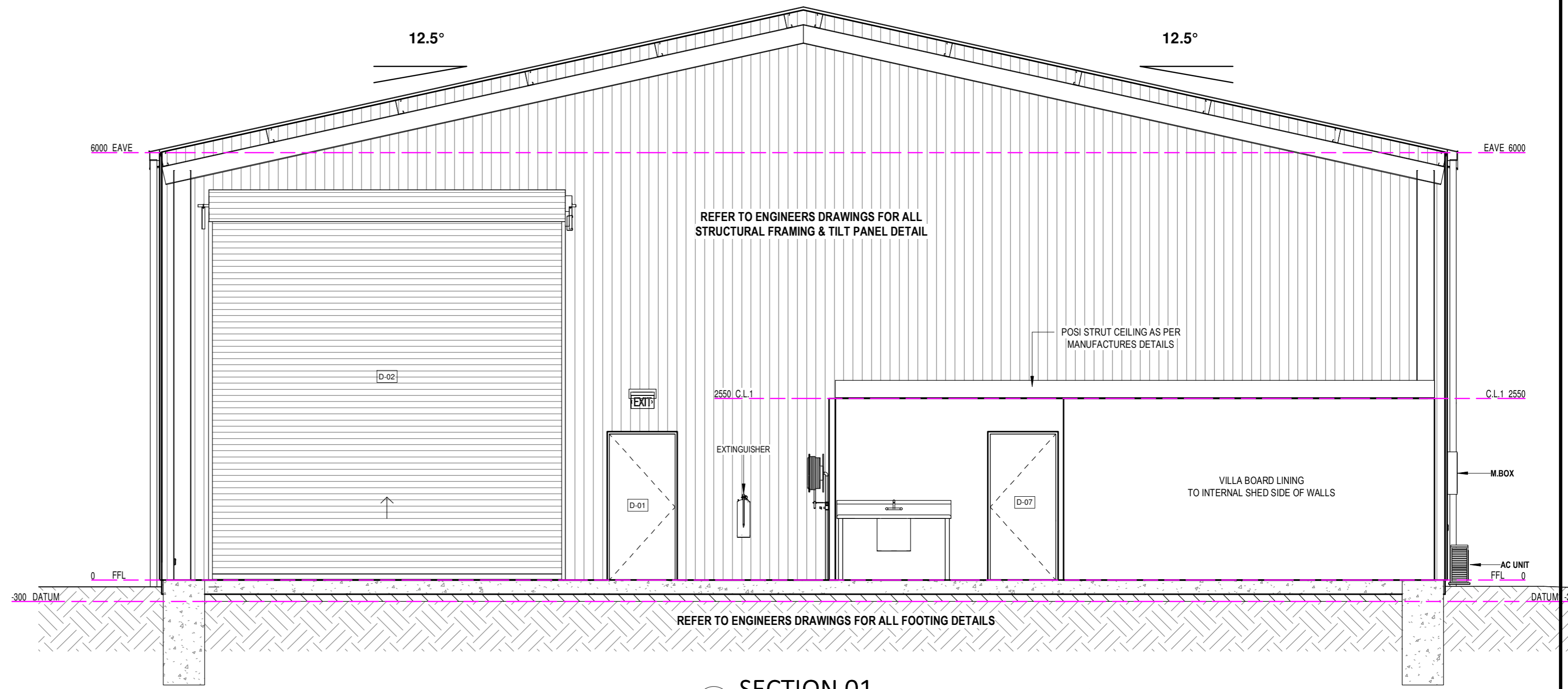
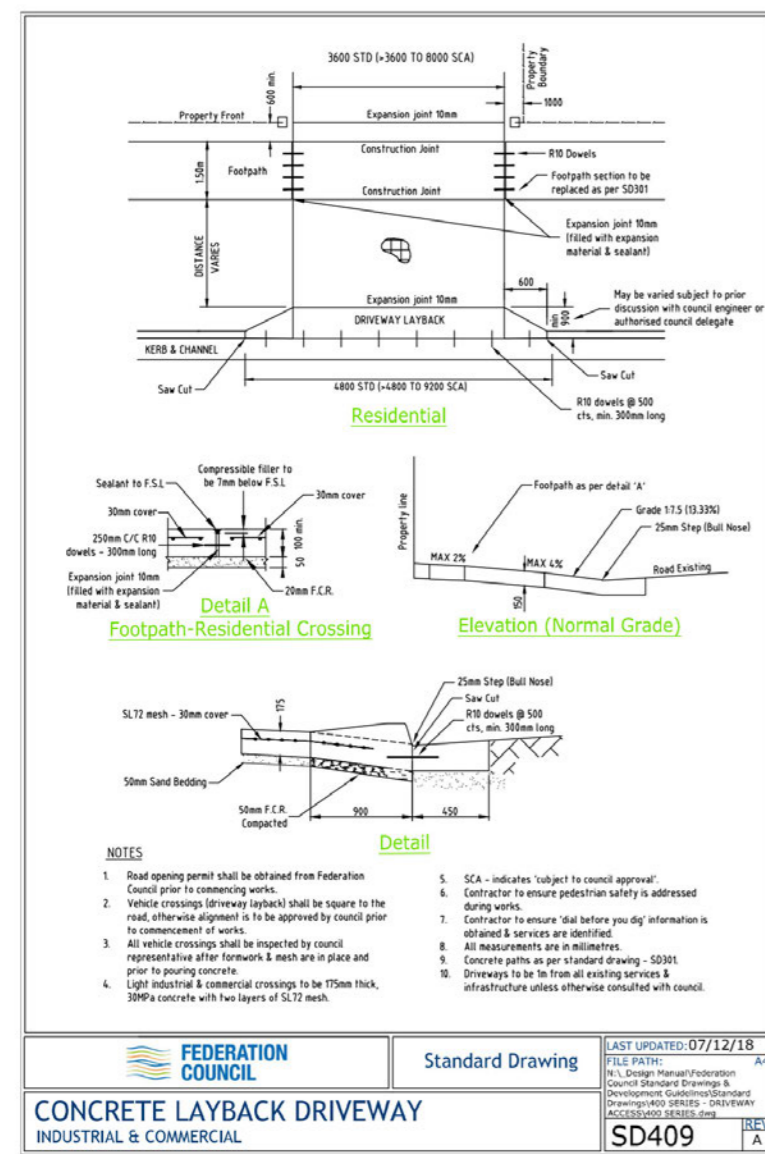
**PROPOSED STORAGE SHED**  
Client: MATT McQUALTER  
Address:  
76 MCCARTHY STREET, MULWALA,  
2647

SHEET NAME:  
**ELEVATIONS**

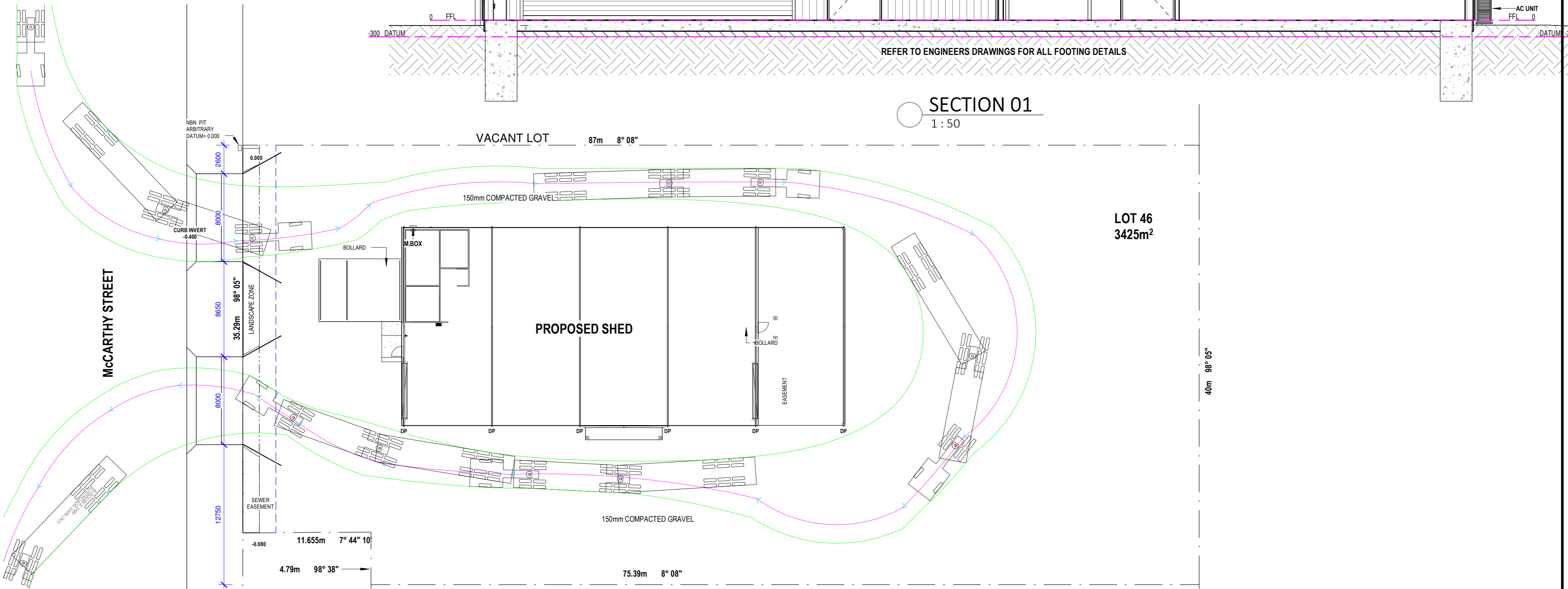
SHEET No: **04** Scale: As Shown  
Date: **09/07/2022**  
Project No: **70/22**  
Drawn By: SAR Chk: SAR

REV:	DESCRIPTION	DATE
R1	CONCEPT DRAWINGS	15-07-22
R2	PRELIM' REVISION 02	16-07-22
R3	PRELIM' REVISION 03	19-09-22
R4	PRELIM' REVISION 05	00-00-00
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SECTION 01  
1:50



TURNING ARC  
1:250

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**REGISTERED**  
Building Practitioner  
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**PROPOSED STORAGE SHED**  
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Address: 76 McCARTHY STREET, MULWALA, 2647

SHEET NAME: SECTION 01		REV:	DESCRIPTION	DATE
SHEET No: 05	Scale: As Shown	R1	CONCEPT DRAWINGS	15-07-22
Date: 09/07/2022		R2	PRELIM' REVISION 02	16-07-22
Project No: 70/22		R3	PRELIM' REVISION 03	19-09-22
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⊙	COMMERCIAL LED PENDANT LIGHT	⊙	FLOOD LIGHT	▽	DOUBLE GPO	TP	TELEPHONE POINT	AC	INTERNAL SPLIT SYSTEM UNIT	→	RETURN AIR LOCATION	⊙	ELECTRIC HOT WATER SERVICE
● DL	DOWN LIGHT	⊙	MOTION SENSOR	▽	SINGLE GPO	▽	DOUBLE EXTERNAL GPO	⊕	CEILING FAN WITH LIGHT	⊕	THERMOSTAT	⊗	EVAPORATIVE AIR CONDITIONER
—	DOUBLE FLUORESCENT GLOBE	⊙	EXHAUST FAN (DAMPER)	⊗	ISOLATION SWITCH	▽	SINGLE EXTERNAL GPO	⊕	CEILING FAN	⊕	GAS METER	⊗	RAINWATER TANK PUMP
—	SINGLE FLUORESCENT GLOBE	⊙	4 GLOBE IXL	⊙	SMOKE DETECTOR	⊕	A/C OUTLET	⊕	DUCTED HEATING OUTLET	M.BOX	ELECTRICITY METER	⊗	DUCTED VACUUM UNIT
—	EXTERNAL WALL LIGHT	⊙	EMERGENCY EXIT LIGHT	TV	TELEVISION POINT	⊕	EXTERNAL SPLIT SYSTEM UNIT	RA	RETURN AIR DUCT	HWS	GAS HOT WATER SERVICE	⊗	VACUUM OUTLET
⊙	LED DOWN LIGHT	EM.L	EMERGENCY LIGHTING										

**NOTES:**

MANHOLE LOCATION IS APPROXIMATE ONLY.  
EXACT POSITION WILL DEPEND ON TRUSS LAYOUT

**ELECTRICAL LEGEND**

1 : 100

**ELECTRICAL FIXTURE SCHEDULE**

DESCRIPTION	No
11 WATT LED DOWN LIGHT	4
AC UNIT	1
COMMERCIAL LED PENDANT LIGHT	3
DBL LED FLOOD LIGHT	4
DOUBLE GPO	14
EMERGENCY LIGHT	2
EXIT LIGHTING	2
EXTERNAL DOUBLE GPO	1
SHUTTERED EXHAUST FAN	2

**GENERAL ELECTRICAL NOTES**

ALL LIGHT POINTS WILL BE CENTRALLY LOCATED IN CEILINGS UNLESS SPECIFICALLY REQUESTED BY OTHERS - CONFIRM WITH OWNERS. THE POSITIONS OF DOWNLIGHTS WILL BE AS CLOSE AS POSSIBLE TO THE REQUESTED POSITION, HOWEVER IT IS SUBJECT TO THE POSITION OF ROOF TRUSSES AND OTHER INSTALLATIONS IN THE CEILING POINTS - CONFIRM WITH OWNER. WHERE REQUIRED, PROVIDE POWER FOR RANGEHOOD, HOT PLATES, DISHWASHER, WALL/UNDER BENCH OVEN, MICROWAVE, REFRIGERATOR, EVAPORATIVE COOLING UNIT, HEATING UNIT, GARAGE DOOR & HOT WATER SERVICE.

**ARTIFICIAL LIGHTING**

J7D3 ARTIFICIAL LIGHTING  
NCC VOLUME ONE Part J7D3, Part E4 & Table J7D3a MAXIMUM ILLUMINATION POWER DENSITY  
J7D6 EXTERIOR ARTIFICIAL LIGHTING

ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST BE

(A) BE CONTROLLED BY—

(I) A DAYLIGHT SENSOR; OR

(II) A TIME SWITCH THAT IS CAPABLE OF SWITCHING ON AND OFF ELECTRIC POWER TO THE SYSTEM AT VARIABLE PRE-PROGRAMMED

TIMES AND ON VARIABLE PRE-PROGRAMMED DAYS; AND

(B) WHEN THE TOTAL LIGHTING LOAD EXCEEDS 100 W—

(I) USE LED LUMINAIRES FOR 90% OF THE TOTAL LIGHTING LOAD; OR

(II) BE CONTROLLED BY A MOTION DETECTOR IN ACCORDANCE WITH SPECIFICATION 40; OR

(III) WHEN USED FOR DECORATIVE PURPOSES, SUCH AS FAÇADE LIGHTING OR SIGNAGE LIGHTING,

HAVE A SEPARATE TIME SWITCH IN ACCORDANCE WITH SPECIFICATION 40.

THE OVERALL LAMP POWER DENSITY MUST NOT EXCEED THE PRESCRIBED

ALLOWANCES AS PER ELECTRICAL PLAN FOR EACH AREA. HALOGEN LAMPS

MUST BE SEPARATELY SWITCHED FROM FLUORESCENT LAMPS

LIGHTING INSTALLED IN ADDITION TO THE PROPOSED INSTALLATION MUST NOT

EXCEED THE CALCULATED MAXIMUM WATTAGE AND MAY IMPACT ON

CEILING INSULATION -CONFIRM WITH BUILDING SURVEYOR ALL LIGHT FITTINGS &

LAMPS SHOWN ARE ENERGY

EFFICIENT. ANY CHANGE TO NUMBER OF, OR LAMP ENERGY OUTPUT MUST BE

RE-EVALUATED FOR OVERALL

COMPLIANCE OF NCC/BCA PART 3.12.5.4.

ALL INTERNAL LIGHTS ARE SURFACE MOUNTED UNLESS OTHERWISE NOTED.

NOTE: THE R VALUE OF THE CEILING INSULATION MUST BE INCREASED WHERE

CEILING INSULATION IS REMOVED AROUND DOWN LIGHTS AND EXHAUST FANS AS

PER THE BCA TABLE 3.12.1.1A.

USE INDUSTRY APPROVED DOWNLIGHT COVERS FOR INSULATION PROTECTION

AND DRAFT SEALING (EXAMPLE: IGL00 RECESSED DOWNLIGHT COVER)

F6D6 VENTILATION OF ROOMS

SUPPLY AND INSTALL MECHANICAL VENTILATION WHERE SHOWN TO COMPLY WITH

AS 1668.2 & AS/NZS 3666.1

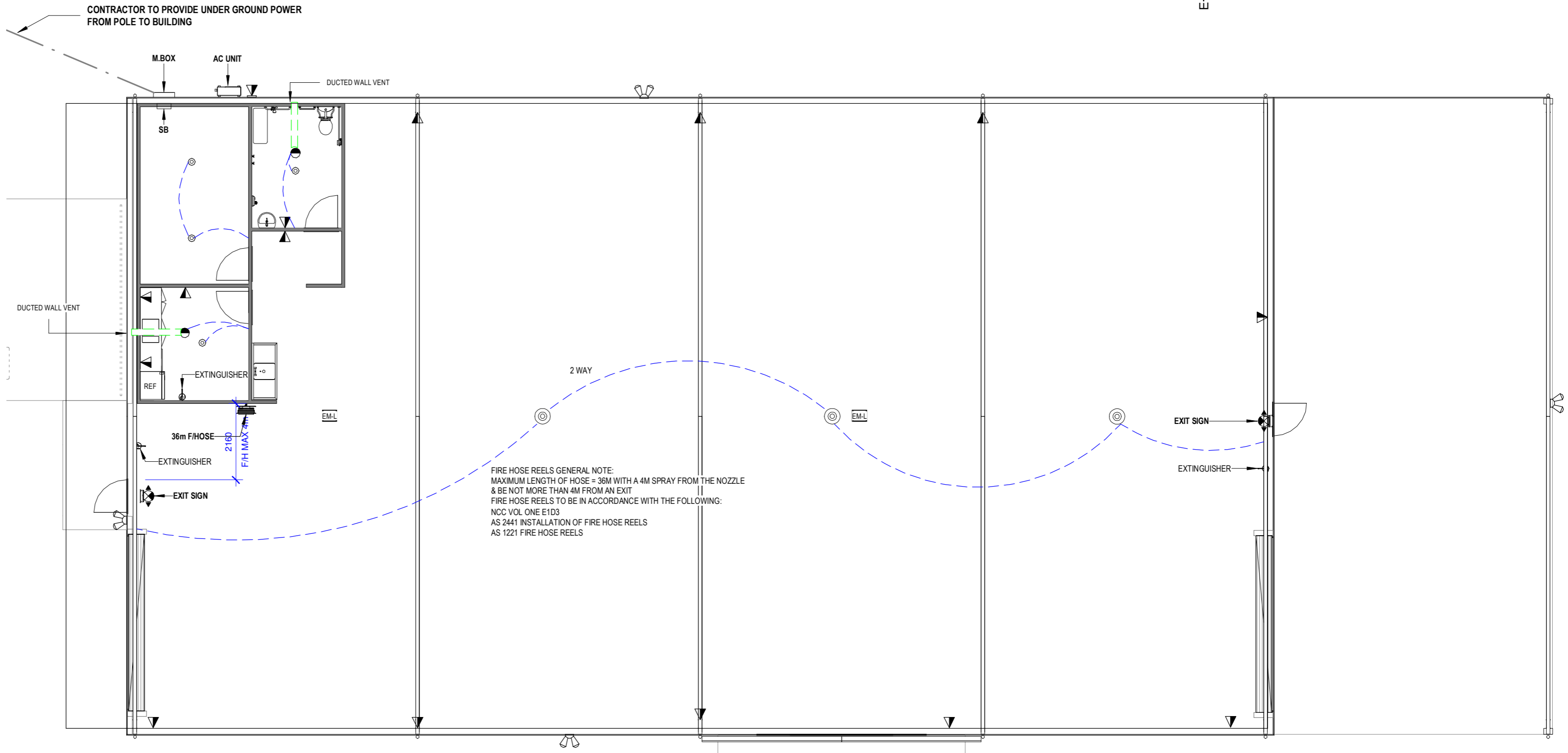
F8D4 EXHAUST SYSTEMS

MECHANICAL EXHAUSTS (25L/S) ARE REQUIRED IN THE SANITARY FACILITY ROOMS

DISCHARGING DIRECTLY TO THE OUTSIDE VIA A DUCT OR ALTERNATIVE PIPING

ALL MECHANICAL EXHAUSTS SHALL BE FITTED WITH SELF-CLOSING LOUVRED

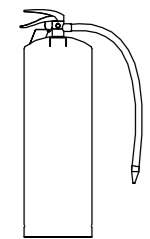
REGISTERS WHERE EXITING THE BUILDING.



FIRE HOSE REELS GENERAL NOTE:  
MAXIMUM LENGTH OF HOSE = 36M WITH A 4M SPRAY FROM THE NOZZLE  
& BE NOT MORE THAN 4M FROM AN EXIT  
FIRE HOSE REELS TO BE IN ACCORDANCE WITH THE FOLLOWING:  
NCC VOL ONE E1D3  
AS 2441 INSTALLATION OF FIRE HOSE REELS  
AS 1221 FIRE HOSE REELS

**FIRE**

1 : 20



FIRE EXTINGUISHER TO BE PLACED NO MORE THAN 20M APART

TYPE: 4.5KG ABC

INSTALLED IN ACCORDANCE WITH SECTION 3 OF AS 2444.

FIRE EXTINGUISHERS SHOULD BE MOUNTED NO

MORE THAN 1,200 MM, FROM THE FLOOR.

LOCATION SIGN INSTALLED ABOVE THE

EXTINGUISHER NOT LESS THAN 2 M ABOVE THE FLOOR,

OR AT A HEIGHT THAT ENSURES THE SIGN IS VISIBLE

LOCATION AND DISPLAY OF SIGN

MIN - 2000MM ABOVE FLOOR LEVEL.

A MINIMUM OF ONE SIGN MUST BE PROVIDED ABOVE OR ADJACENT TO AN EXTINGUISHER

THE EXTINGUISHER AND FIRE POINT LOCATION SIGNS SHALL HAVE A SYMBOL, BORDER AND LETTERS

IN WHITE ON A RED FIELD, COMPLYING WITH AUSTRALIAN STANDARD (AS) 2700.

**ELEC/LIGHTING PLAN**

1 : 100

**NOTE:** CONTRACT TO SUPPLY 3PHASE POWER  
FOR HYDRAULIC ELECTRICAL REQUIREMENTS  
REFER TO HYDRAULIC DESIGN BY OTHERS

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EXCELLENCE THROUGH INTELLIGENT DESIGN

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**PROPOSED STORAGE SHED**

Client: MATT McQUALTER

Address:  
76 MCCARTHY STREET, MULWALA,  
2647

SHEET NAME:  
**ELEC/LIGHTING PLAN**

SHEET No: 06 Scale: As Shown

Date: 09/07/2022

Project No: 70/22

Drawn By: SAR

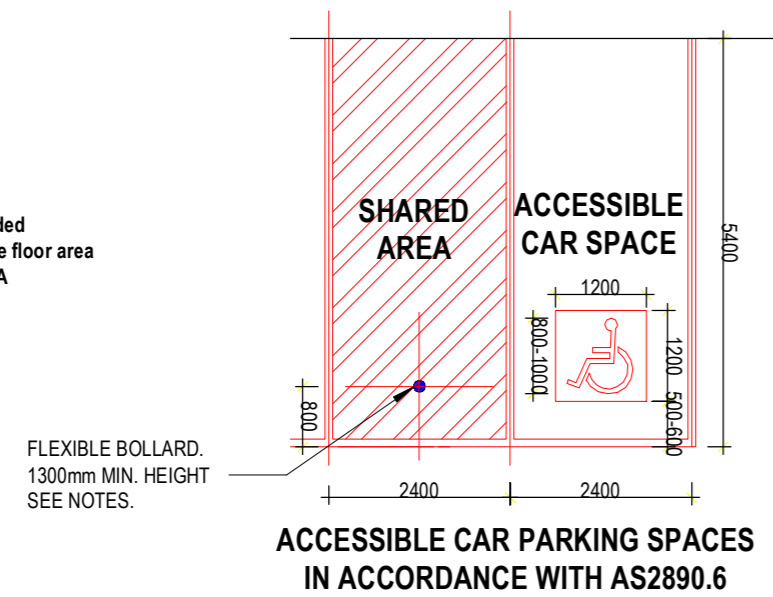
REV:	DESCRIPTION	DATE
R1	CONCEPT DRAWINGS	15-07-22
R2	PRELIM' REVISION 02	16-07-22
R3	PRELIM' REVISION 03	19-09-22
R4	PRELIM' REVISION 05	00-00-00
R5	DA/CC DRAWINGS REV2	23-11-23

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SHEET SIZE A2



SUGGESTED PLANT TYPES APPROPRIATE FOR USE WITH IN THE FEDERATION SHIRE

**SCHEDULE 1 TO THE PARKING OVERLAY**  
 Number of car parking spaces to be provided  
 OFFICE: 2.5 per 100sq m of gross leasable floor area  
 APPROX GROSS LEASABLE FLOOR AREA  
 230sq m= 6 CARPARKS REQUIRED



**ACCESSIBLE CAR PARKING SPACES IN ACCORDANCE WITH AS2890.6**

**SPACE IDENTIFICATION**

EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 1428.1 BETWEEN 800 MM AND 1000mm HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200mm, PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE BETWEEN 500mm AND 600mm FROM ITS ENTRY POINT AS ILLUSTRATED

**SPACE DELINEATION**

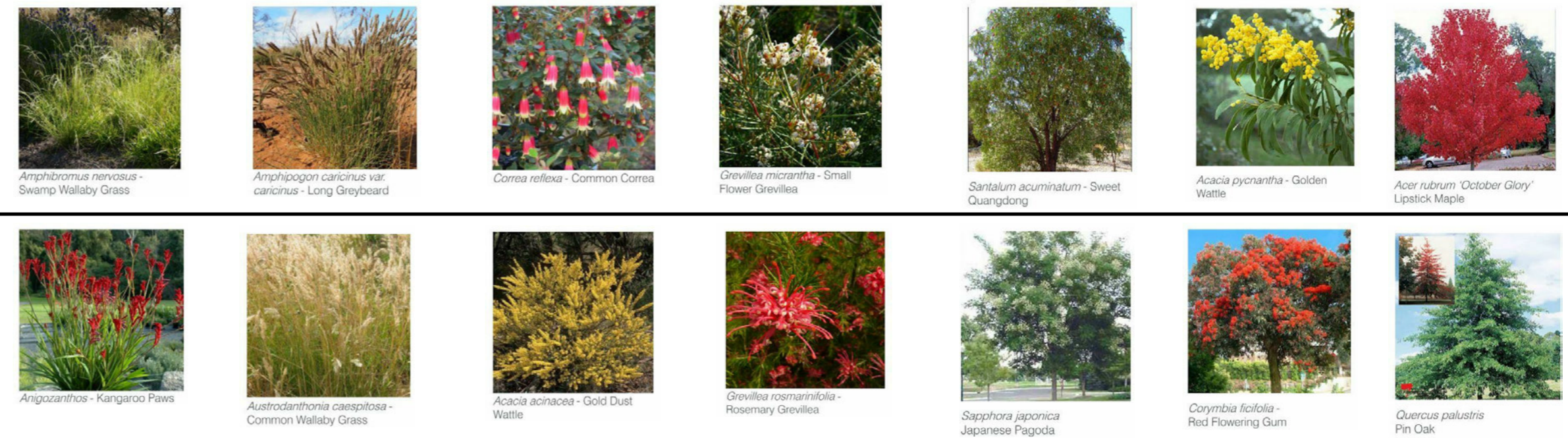
PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.

PAVEMENT MARKING SHALL BE PROVIDED AS FOLLOWS:

1. LINEMARKING
  - 1.1 DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.

**2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:**

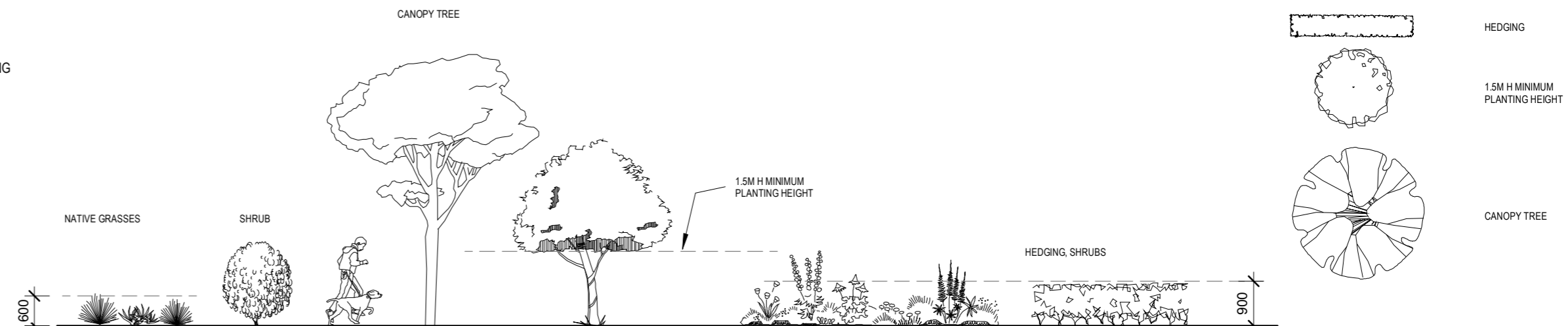
- 2.1 WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL
  - 2.2 OVER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200 MM WIDE WITH SPACES 200 MM TO 300 MM BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45+ 10 DEGREES TO THE SIDE OF THE SPACE
  - 2.3 RECOMMENDED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.
  - 2.4 ALL LINEMARKINGS MUST BE NON SLIP
- 3 BOLLARDS
    - 3.1 MINIMUM HEIGHT 1300mm
    - 3.2 RECOMMENDED COLOUR BLUE TO CONTRAST AGAINST YELLOW LINE MARKING
    - 3.3 RECOMMENDED FLEXIBLE BOLLARDS TO REDUCE MOTOR VEHICLE DAMAGE



**SUGGESTED**  
 All garden beds to be prepared and formed with a minimum 300mm depth of top soil and then covered with minimum 75mm of bark chip or 14mm pebble aggregate. Irrigation to be fully automated via 13mm netafim drip lines controlled with a Hunter Node controlling multiple solenoids.

**DISABLE PARKING**

1 : 100



**GENERAL NOTES**

1 : 50

**LEVELS NOTE**  
 ALL LEVELS ARE APPROXIMATE ONLY EXACT LEVELS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER

**DIMENSIONS NOTE**  
 ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER DO NOT SCALE DRAWINGS

**CONSULTANTS NOTE**  
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL ENGINEER, CIVIL ENGINEER AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT

**SURFACE DRAINAGE**  
 THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1m

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE OWNER, BUILDER & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO DESIGNER FOR CLARIFICATION.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS; AND ALL OTHER CONSULTANTS DRAWINGS / DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

**CONCRETE**  
 UNLESS OTHERWISE SPECIFIED, COMPLY WITH THE REQUIREMENTS OF ALL SPECIFIED STANDARDS AND CODES OF PRACTICE, INCLUSIVE OF BUT NOT LIMITED TO THE FOLLOWING:  
 AS NO. 1480 SAA CONCRETE STRUCTURES CODE  
 AS NO. 1379 READY MIXED CONCRETE  
**EXTERNAL WALLS**  
 PREFAB WALLS TO BE USED USING T2  
 REFER TO MANUFACTURERS DETAILS FOR SPECIFICATIONS & LAYOUT.  
**NOTE**  
 EXT WALLS - R2.5 INSULATION TO ALL EXTERNAL WALLS  
 ALL INTERNAL NONE CONDITIONED WALLS TO HAVE R2 INSULATION

**CARPENTRY**  
 UNLESS OTHERWISE SPECIFIED, COMPLY WITH THE REQUIREMENTS OF ALL SPECIFIED STANDARDS AND CODES OF PRACTICE, INCLUSIVE OF BUT NOT LIMITED TO THE FOLLOWING:  
 AS 1080 METHODS OF TEST FOR TIMBER - PART 1 -

**ROOFS.**  
 ROOF TRUSSES AT 900 CTRS.  
 REFER TO MANUFACTURERS DETAILS FOR DESIGN SPECIFICATIONS & LAYOUT.  
 R4.0 BATT INSULATION TO CEILINGS  
 METAL CEILING BATTENS AT 450 CTRS 10mm PLASTERBOARD LINING TO CEILINGS.  
**ROOF COVER**  
 COLORBOND ON METAL TOP HAT BATTENS AT 900 CTRS MAXIMUM.  
 INSTALL SARKING UNDER SIDE OF ALL ROOFING  
 COLORBOND RIDGE & HIP CAPPING & VALLEY FLASHING TO MATCH SELECTED ROOFING  
 COLORBOND ROOFING - PITCH AS INDICATED  
 SLOTTED COLORBOND GUTTERING FALL 1:400 TO SELECTED DOWN PIPES.  
 COLORBOND FASCIA.  
 DOWNPIPES TO BE 90mm PVCU PIPE TO TANK.  
 100x50 COLORBOND METAL FROM TANK  
 EXHAUST FANS TO BE SELF CLOSING  
 WEATHER STRIPPING TO EXTERNAL DOORS

AS 1684 SAA TIMBER FRAMING CODE  
 AS 1748 MECHANICALLY STRESS-GRADED TIMBER  
 AS 1490 VISUALLY STRESS GRADED RADIATA PINE FOR STRUCTURAL PURPOSES (METRIC UNITS)

**PLASTERBOARD**  
 UNLESS OTHERWISE SPECIFIED, COMPLY WITH THE REQUIREMENTS OF ALL SPECIFIED STANDARDS AND CODES OF PRACTICE, INCLUSIVE OF BUT NOT LIMITED TO THE FOLLOWING:  
 AS NO. 2588 GYPSUM PLASTERBOARD.  
 AS NO. 2589 THE APPLICATION AND FINISHING OF GYPSUM PLASTERBOARD IN FRAMED DWELLING CONSTRUCTION.  
 AS NO. 2592 GYPSUM PLASTER FOR BUILDING PURPOSES.  
 ALL INTERNAL WALLS TO ENSUITE, LAUNDRY, BATHROOM AND WC TO HAVE MINIMUM R2.0 INSULATION ADDED

**SANITARY/SEWAGE**  
 SUPPLY AND INSTALL SANITARY SEWAGE TO COMPLY WITH AS 1260 & AS 3500

**GENERAL NOTES**  
 ARTIFICIAL LIGHTING SHALL COMPLY WITH AS 1680-1998  
 DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS SHALL COMPLY WITH THE FOLLOWING IF THERE IS NOT A CLEAR SPACE OF AT LEAST 1.2M BETWEEN CLOSET PAN AND NEAREST PART OF DOORWAY:  
 OPEN OUTWARDS OR SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT.

**PLUMBING**  
 UNLESS OTHERWISE SPECIFIED, COMPLY WITH THE REQUIREMENTS OF ALL RELEVANT STANDARDS, CODES OF PRACTICE, AND LOCAL AUTHORITY BY-LAWS.

**MECHANICAL**  
 SUPPLY AND INSTALL MECHICAL VENTILATION WHERE SHOWN TO COMPLY WITH AS 1668  
 MECHANICAL EXHAUSTS (25L/S) ARE REQUIRED IN THE SANITARY FACILITY ROOMS DISCHARGING DIRECTLY TO THE OUTSIDE VIA A DUCT OR ALTERNATIVE PIPING  
 ALL MECHANICAL EXHAUSTS SHALL BE FITTED WITH SELF-CLOSING LOUVRED REGISTERS WHERE EXITING THE BUILDING.

**WET AREAS**  
 WATERPROOF WET AREAS TO COMPLY WITH AS 3740-2004 AND BCA PART 3.8.1  
 WET AREAS ARE TO BE IMPERVIOUS TO WATER I.E. WALL SURFACES AND SUBSTRATES OF SHOWER ENCLOSURES, OR IF UNENCLOSED, WITHIN 1.5M HORIZONTALLY FROM THE FIXTURE AND TO A HEIGHT OF 1.8M ABOVE THE FLOOR; AND BEHIND ANY BATH, SINK ETC IF WITHIN 75MM OF A WALL TO A HEIGHT OF 150MM ABOVE THE FIXTURE

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**NOTE:**  
 DO NOT SCALE DRAWINGS  
 ALL DIMENSIONS TO BE VERIFIED BY BUILDER ON SITE PRIOR TO ORDERING OF MATERIALS. ALL WORKS TO CONFORM TO NCC & ALL RELEVANT STANDARDS

**PROPOSED STORAGE SHED**  
 Client: MATT McQUALTER  
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