

Initiator details

| | |
|------------------|------------|
| Title | |
| First given name | Chris |
| Family name | Egan |
| Contact number | [REDACTED] |
| Email | [REDACTED] |

Applicant contact details

| | |
|--|-------------------|
| Title | Mr |
| First given name | Chris |
| Other given name/s | |
| Family name | Egan |
| Contact number | [REDACTED] |
| [REDACTED] | [REDACTED].com.au |
| Address | [REDACTED] |
| Application on behalf of a company, business or body corporate | No |

Owner/s of the development site

| | |
|---------------------------------|---|
| Owner/s of the development site | There are one or more owners of the development site and the applicant is NOT one of them |
| Owner # | 1 |
| Title | Mrs |
| First given name | Katie |
| Other given name/s | Sandra |
| Family name | Egan |
| Contact number | [REDACTED] |
| Email | [REDACTED] |
| Address | [REDACTED] |

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

| | |
|---|----|
| Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc. | No |
|---|----|

Developer details

| | |
|---------------|--|
| ABN | |
| ACN | |
| Name | |
| Trading name | |
| Address | |
| Email Address | |

Development details

| | |
|--------------------------------------|---|
| Application type | Development Application |
| Site address # | 1 |
| Street address | 77 HUME STREET MULWALA 2647 |
| Local government area | FEDERATION |
| Lot / Section Number / Plan | 6/11/DP758726 <input checked="" type="checkbox"/> 5/11/DP758726 <input type="checkbox"/> |
| Primary address? | Yes |
| Planning controls affecting property | Land Application LEP Corowa Local Environmental Plan 2012 Land Zoning R1: General Residential Height of Building 9 m Floor Space Ratio (n:1) NA Minimum Lot Size 550 m ² Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA |

Proposed development

| | |
|--|--|
| Selected common application types | Erection of a new structure |
| Selected development types | Dual occupancy (detached) |
| Description of development | The application proposes to relocate 2 x transportable cabins and create a dual occupancy development on the site. |
| Is the development proposed to be build-to-rent housing? | No |
| Dwelling count details | |
| Number of dwellings / units proposed | 2 |
| Number of storeys proposed | 1 |
| Number of pre-existing dwellings on site | 0 |
| Number of dwellings to be demolished | 0 |
| Number of proposed occupants | 2 |
| Existing gross floor area (m2) | 0 |
| Proposed gross floor area (m2) | 123 |
| Total site area (m2) | 1,011 |
| Total net lettable area (m2) | |
| What is the estimated development cost, including GST? | \$120,000.00 |
| Estimated development cost | \$120,000.00 |
| Do you have one or more BASIX certificates? | No |
| Climate Zone | |
| What climate zone/s is the development in? | Climate zone 8 - alpine |
| Has the climate zone impacted the design of the development? | No |
| Subdivision | |
| Number of existing lots | 1 |

| | |
|---------------------------------------|--|
| Proposed operating details | |
| Number of staff/employees on the site | |

Number of parking spaces

| | |
|---------------------------------------|--|
| Number of loading bays | |
| Is a new road proposed? | No |
| Concept development | |
| Is the development to be staged? | No, this application is not for concept or staged development. |
| Crown development | |
| Is this a proposed Crown development? | No |

Related planning information

| | |
|--|---|
| Is the application for integrated development? | No |
| Is your proposal categorised as designated development? | No |
| Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat? | No |
| Is this application for biodiversity compliant development? | No |
| Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)? | No |
| Is the application accompanied by a Planning Agreement ? | No |
| Section 68 of the Local Government Act | |
| Is approval under s68 of the Local Government Act 1993 required? | Yes |
| Have you already applied for approval under s68 of the Local Government Act? | No |
| Would you like to apply for approval under s68 of the Local Government Act? | No |
| 10.7 Certificate | |
| Have you already obtained a 10.7 certificate? | |
| Tree works | |
| Is tree removal and/or pruning work proposed? | Yes |
| Please provide a description of the proposed tree removal and/or pruning work | Removal of 1 x plane tree from Council road reserve |
| Number of trees to be impacted by the proposed work | 1 |
| Land area to be impacted by the proposed work | |
| Units | |
| Approximate area of canopy REQUESTED to be removed | 25 |
| Units | Square metres |
| Local heritage | |
| Does the development site include an item of environmental heritage or sit within a | No |

| | |
|--|----|
| heritage conservation area. | |
| Are works proposed to any heritage listed buildings? | No |
| Is heritage tree removal proposed? | No |
| Affiliations and Pecuniary interests | |
| Is the applicant or owner a staff member or councillor of the council assessing the application? | No |
| Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application? | No |
| Political Donations | |
| Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years? | No |
| Please provide details of each donation/gift which has been made within the last 2 years | |

Sustainable Buildings

| | |
|--|--|
| Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings? | Yes |
| Provide reason for exemption. Is the development any of the following: | Development that is wholly residential |

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

| | |
|---------------------|----------------------|
| First name | Chris |
| Other given name(s) | |
| Family name | Egan |
| Contact number | ██████████ |
| Email address | ████████████████████ |
| Billing address | ████████████████████ |

Application documents

The following documents support the application.

| Document type | Document file name |
|----------------------|--|
| Architectural Plans | Updated and Amended Plans 02RCD23_77_Hume_St_AMENDED FINALS (3) May 23 |
| Cost estimate report | Chis Egan Cost of Works Form March 22 PDF |

| | |
|------------------------------------|--|
| Other | Electrical Certificates |
| Owner's consent | Owners Consent Form |
| Site Plans | Updated and Amended Plans 02RCD23_77_Hume_St_AMENDED FINALS (3) May 23 |
| Statement of environmental effects | SEE Final New DA - 77 Hume St Mulwala Sept 24 PDF |
| Structural engineers report | Structural Certications CO 60385-27-B Footings Enginners Designs SD 60385-27-B Structural Compliance Certificate CC 60385-27-1-A Structural Certification CC 60385-27-2-A |

Applicant declarations

| | |
|---|-----|
| I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct. | Yes |
| I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application. | Yes |
| I understand that if incomplete, the consent authority may request more information, which will result in delays to the application. | Yes |
| I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal | Yes |
| I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it. | Yes |
| I agree to appropriately delegated assessment officers attending the site for the purpose of inspection. | Yes |
| I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice | Yes |
| I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s). | |



REWARD CHARACTER
DESIGNS
BUILDING DESIGN & CREATOR

BUILDING NOTES

ALL: CONSTRUCTION WORKS ARE TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA AND ANY RELEVANT AUSTRALIAN STANDARDS OR LOCAL COUNCIL AUTHORITY REQUIREMENTS REFERENCED IN THE PLANS.

BUILDING DESIGN PLANS: ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND PROFESSIONAL ENGINEERING PLANS / MANUFACTURERS PLANS

BUILDER / CONTRACTORS: TO CONFIRM LEVELS AND DIMENSIONS AND ANY OTHER DETAILS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

BUILDER: TO ENSURE UNDERGROUND SERVICES, PIPES AND CABLES TO BE LOCATED PRIOR TO EXCAVATION WORKS. CALL DIAL BEFORE YOU DIG ON 1100 OR GO TO WWW.1100.COM.AU.

SITE MANAGEMENT: TO COMPLY WITH THE LOCAL COUNCIL AUTHORITY FOR THE SUPPLY/ INSTALL AND MAINTENANCE OF THE FOLLOWING:

- SEDIMENT CONTROL MEASURES
- STABILISED ENTRY POINT
- CONTROLLED RUBBISH AREA
- TOILET FACILITIES

BASIX: SELECTIONS TO COMPLY WITH ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS OF THE ASSOCIATED BASIX CERTIFICATE.

CONCRETE: SLABS AND FOOTINGS ARE TO BE TO ENGINEERS SPECIFICATIONS AND COMPLY WITH AS 2870 RESIDENTIAL SLABS AND FOOTINGS

STORMWATER/ SEWER: MUST BE DESIGNED AND INSTALLED TO COMPLY WITH AS/NZS 3500.3 - 2003 (PLUMBING AND DRAINAGE - STORMWATER DRAINAGE) OR AS/NZS 3500.5 - 2000 (NATIONAL PLUMBING AND DRAINAGE DOMESTIC INSTALLATIONS)

TERMITE PROTECTION TERMITE PROTECTION: PROVIDE PHYSICAL AND CHEMICAL TERMITE BARRIERS IN ACCORDANCE WITH NCC VOL HOUSING PROVISIONS, PART 3.4 TERMITE RISK MANAGEMENT AND AS 3660.1.

MASONRY: TO BE IN ACCORDANCE WITH AS 3700 (MASONRY STRUCTURES).

ELECTRICAL: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3018 -2001 (ELECTRICAL INSTALLATIONS - DOMESTIC INSTALLATIONS)

INTERNAL WET AREA WATERPROOFING: TO COMPLY WITH AS 3740 - 2010 WATER PROOFING OF DOMESTIC WET AREAS & NCC VOL. HOUSING PROVISIONS PART 10.2 WET AREA WATER PROOFING .

EXTERNAL WET AREA WATERPROOFING: TO BE IN ACCORDANCE WITH BCA VOL 2 PART H2D8 EXTERNAL WATERPROOFING AND MATERIALS SELECTION, SYSTEM DESIGN AS PER AS 4654.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 AND GLASS TYPE AND THICKNESS TO AS 1288. ALL OTHER COMPONENTS TO COMPLY WITH RELATIVE STANDARDS.

TIMBER: STRUCTURAL TIMBER TO COMPLY WITH AS 1684 & TO ENGINEERS DETAILS. DECORATIVE TIMBER FEATURES TO BE AS SELECTED.

STEEL: REFER TO BUILDING SPECIFICATIONS & ENGINEERS DETAILS.

HAZARDS: ALL CARE IS TO BE TAKEN BY ONSITE CONSTRUCTION WORKERS. RELEVANT QUALIFICATIONS/ INSURANCES / INDUCTIONS ARE TO BE UP TO DATE PRIOR TO COMMENCEMENT OF WORKS. HAZARDS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- CHEMICALS- E.G PAINTS, SOLVENTS & SEALANTS.
- CONSTRUCTION MATERIALS- E.G TREATED TIMBER, ASBESTOS REMOVAL, INSULATION.
- WORKING AT HEIGHTS.
- WORKING IN CONFINED SPACES.
- DEMOLITION WORKS.

PROPOSED DUAL OCCUPANCY

79 HUME ST, MULWALA, NSW, 2647

LOT 6 DP 758726
LOT SIZE - 1010m²
LGA: FEDERATION COUNCIL

DESIGNED FOR:
CHRIS EGAN

DRAWING SCHEDULE:

| NO. | TITLE |
|-----|-----------------------------|
| A01 | 3D RENDER VIEWS |
| A02 | EXISTING // DEMO. SITE PLAN |
| A03 | PROPOSED SITE PLAN |
| A04 | EXISTING // DEMO PLANS |
| A05 | PROPOSED FLOOR PLANS |
| A06 | DWELLING 1 ELEVATIONS |
| A07 | DWELLING 2 ELEVATIONS |
| A08 | SECTION & GLAZING SCHED. |

REVISION:

| | |
|----------------|------------|
| PRELIMINARY 1 | 02/03/2023 |
| PRELIMINARY 2 | 08/03/2023 |
| PRELIMINARY 3 | 14/03/2023 |
| FINALS | 14/03/2023 |
| AMENDED FINALS | 25/05/2023 |

DESIGNED: **REWARD CHARACTER DESIGNS**

P 0406 140 093

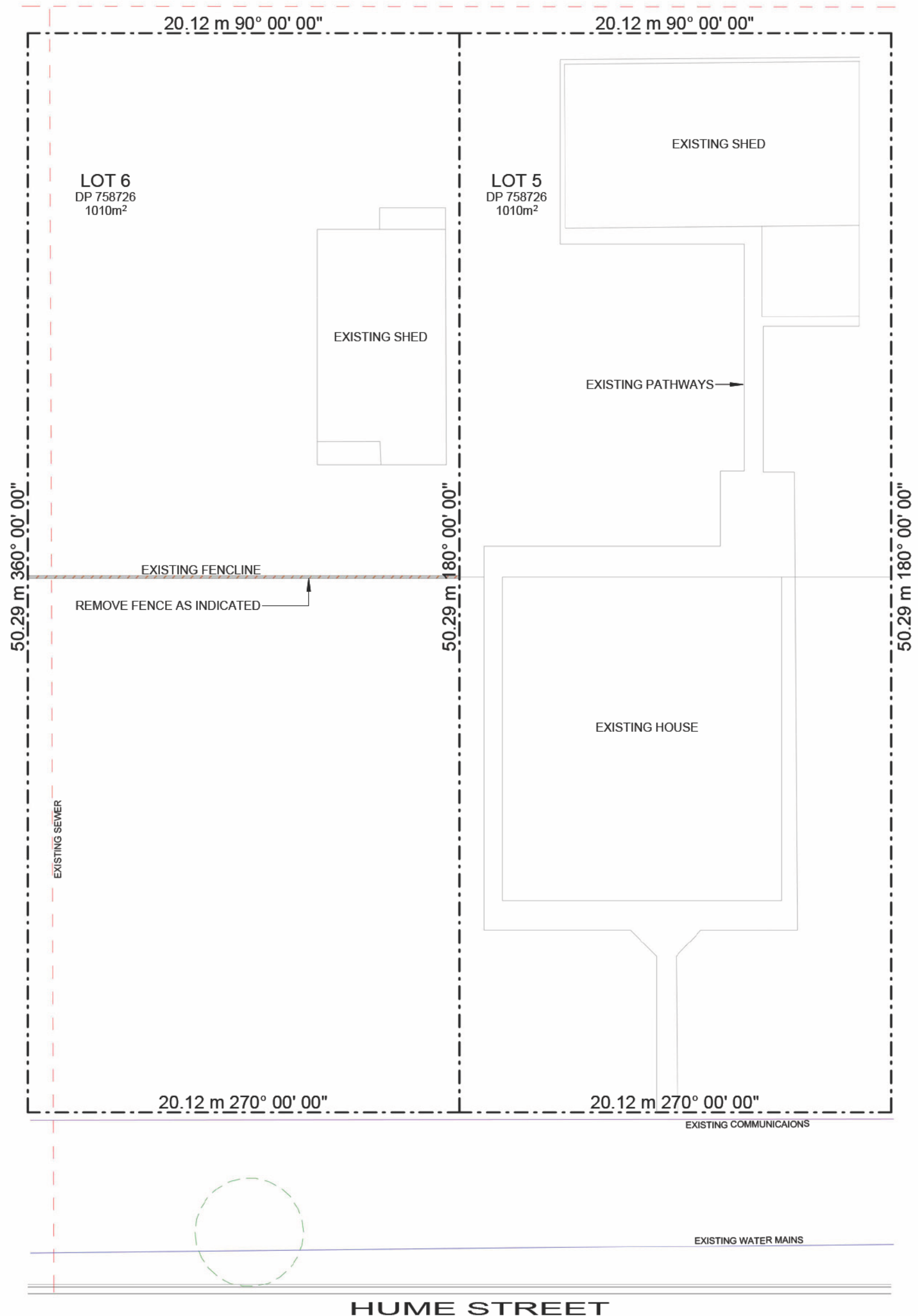
E REWARDCHARACTERDESIGNS@HOTMAIL.COM



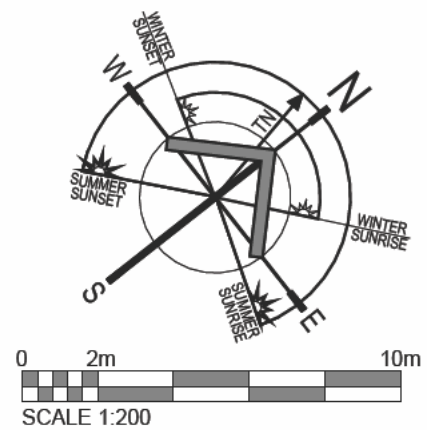
VIEW FROM THE FRONT OF PROPOSED DEVELOPMENT



VIEW FROM THE REAR OF PROPOSED DEVELOPMENT



EXISTING // DEMO. SITE PLAN
 SCALE AT A3 1:200



PROJECT
PROPOSED DUAL OCCUPANCY
 79 HUME STREET,
 MALWALA, NSW, 2647

DRAWING TITLE
EXISTING // DEMO. SITE
 CLIENT
 CHRIS EGAN
 DRAWN BY
 GUY WARD
 BUILD BY
 TBC

SCALE
 AS SHOWN
 STATUS
FINALS AMENDED
 PROJECT ID
 02RCD23
 DATE // TIME
 25/05/2023 8:34:54 AM

DRAWING NO.
A02

--- DENOTES APPROX. NEW SEWER
 --- DENOTES APPROX. NEW STORM WATER

SITE COVER

| | |
|--|----------------------------|
| SITE AREA - | 1010m ² |
| TOTAL ENCLOSED AREA - (EXTERNAL SIDE OF WALL) | |
| EXISTING SHED - | 68.80m ² |
| 2 x DWELLINGS - | 114.88m ² |
| TOTAL - | 183.68m² |
| SITE COVERAGE = | 18.2% |

LANDSCAPING REQUIREMENT

| | |
|--------------------------------|-------------------------|
| LANDSCAPING MIN. - | 40% = 404m ² |
| 50% BEHIND BUILDING LINE - | 202m ² |
| PRIVATE OPEN SPACE - | 30m ² |
| 50% FORWARD OF BUILDING LINE - | 65.39m ² |

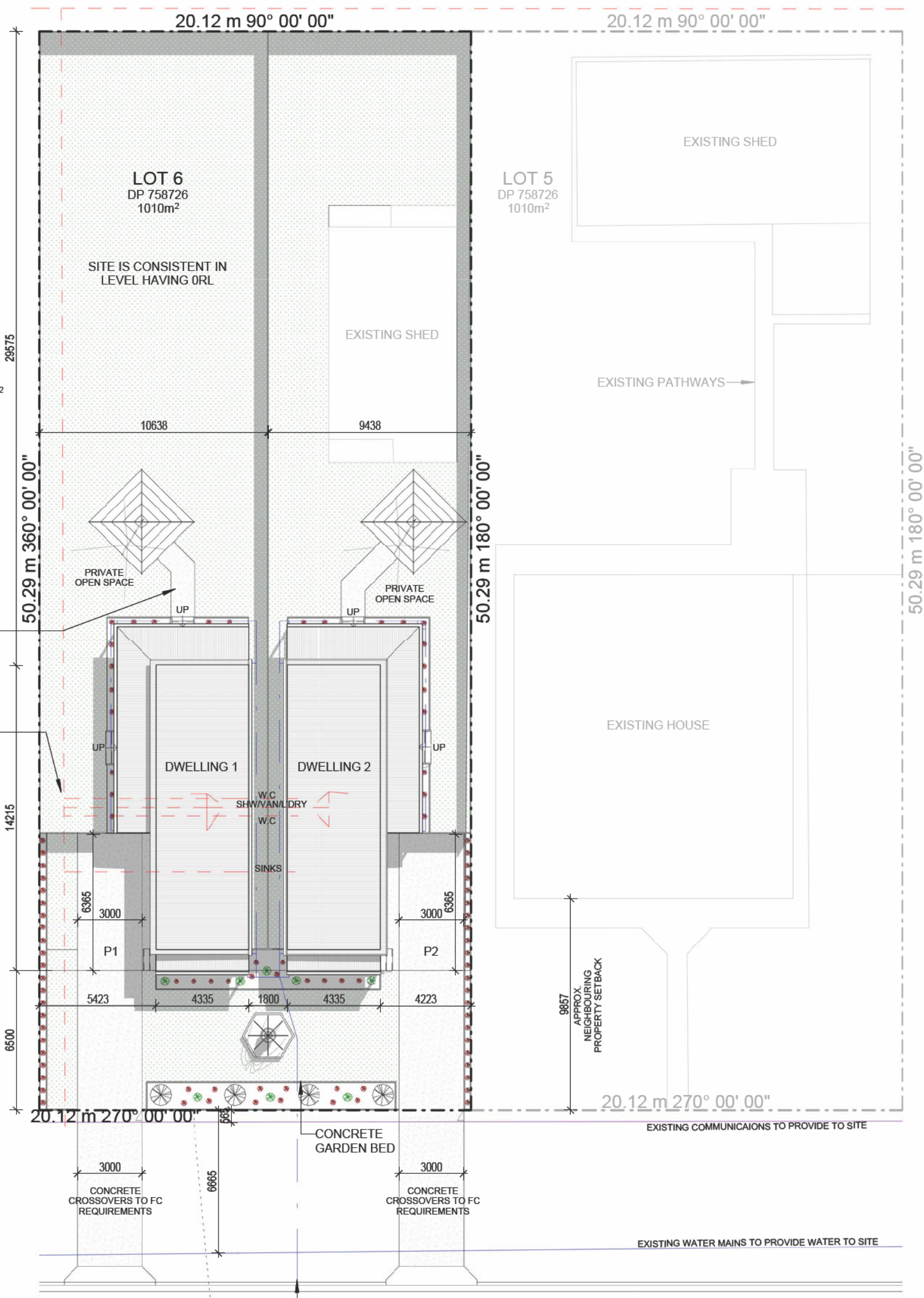
| | |
|--|----------------------|
| TOTAL GRASSED AREA SHOWN FORWARD OF BUILDING LINE - | 60.02m ² |
| GARDEN BED FORWARD OF BUILDING LINE - | 28.25m ² |
| TOTAL GRASSED AREA SHOWN BEHIND BUILDING LINE - | 534.29m ² |

CONCRETE PATH
 CONNECT SEWER & WASTE WATER TO EXISTING PLUMBING PER FC REQUIREMENTS

APPROX. NEIGHBOURING PROPERTY SETBACK

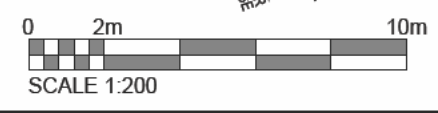
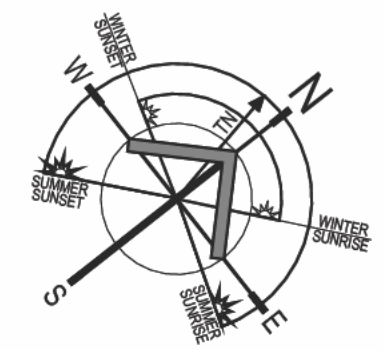
NATIVE LANDSCAPE PLANT SPECIES LEGEND

| SYMBOL | SPECIES |
|--------|--|
| | LEUCOPHYTA BROWNII (CUSHION BUSH) |
| | BRACHYSCOME MULTIFIDA (CUT DAISY) |
| | CALLISTEMON CITRINUS (CRIMSON BOTTLEBRUSH) |



POWER TO BE SUPPLIED BY OVERHEAD POWERLINE. POLE APPROX. 25m AWAY

PROPOSED SITE PLAN
 SCALE AT A3 1:200

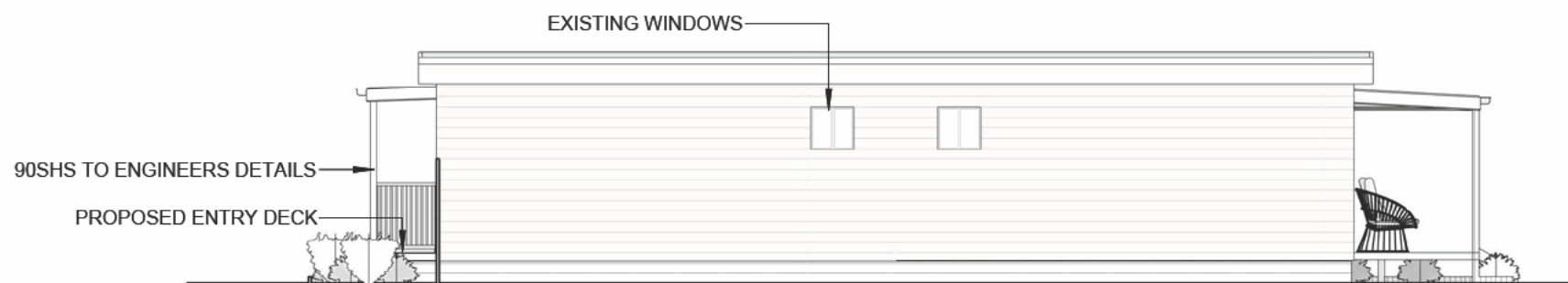


PROJECT
PROPOSED DUAL OCCUPANCY
 79 HUME STREET,
 MALWALA, NSW, 2647

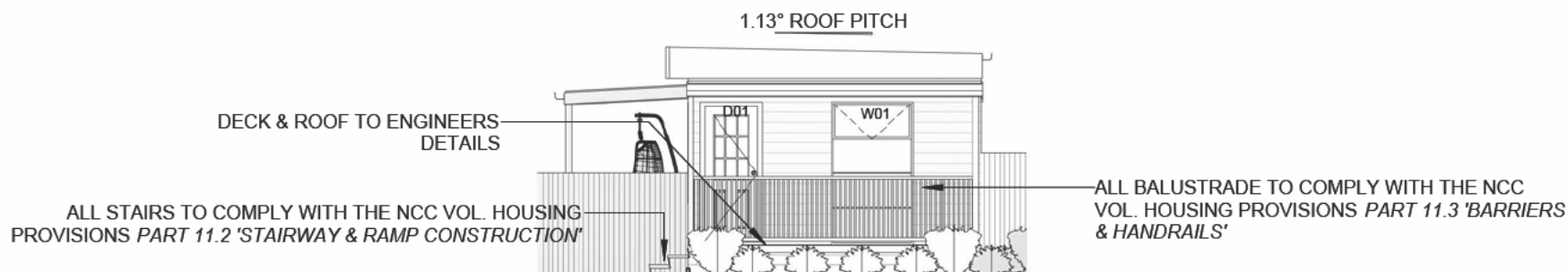
DRAWING TITLE
PROPOSED SITE PLAN
 CLIENT
 CHRIS EGAN
 DRAWN BY
 GUY WARD
 BUILD BY
 TBC

SCALE
 AS SHOWN
 STATUS
FINALS AMENDED
 PROJECT ID
 02RCD23
 DATE // TIME
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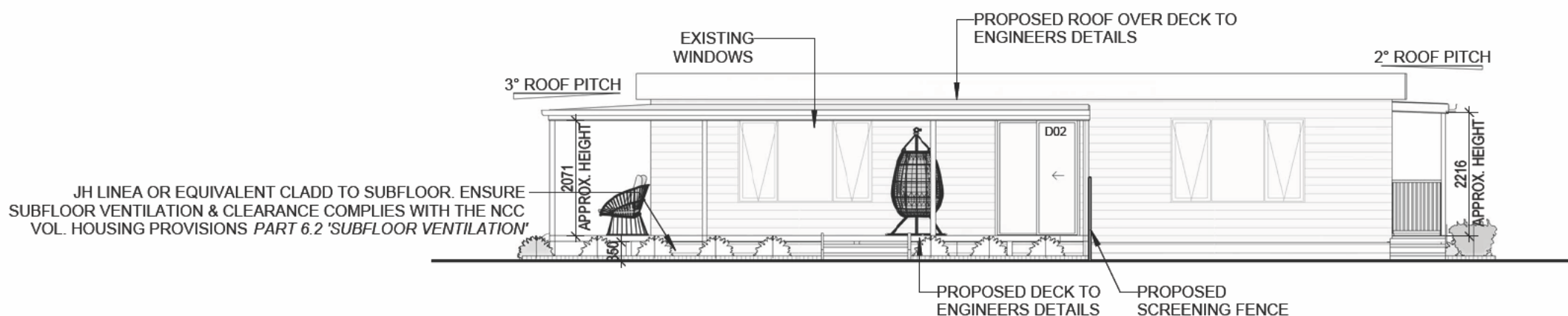
DRAWING NO.
A03



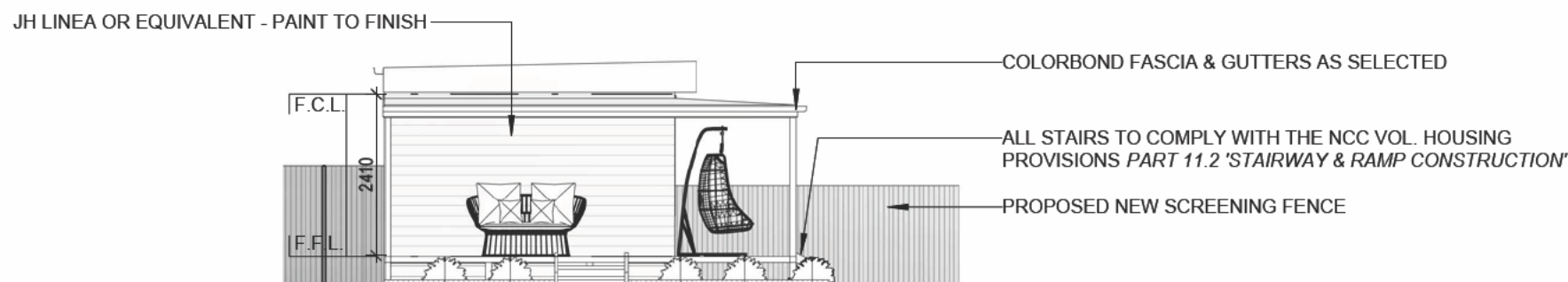
NORTH // EAST ELEVATION
SCALE AT A3 1:100



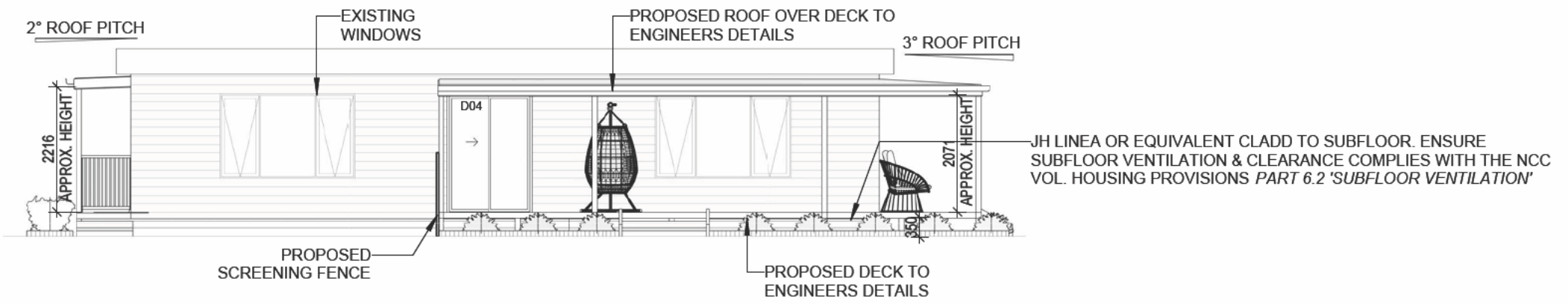
SOUTH // EAST ELEVATION
SCALE AT A3 1:100



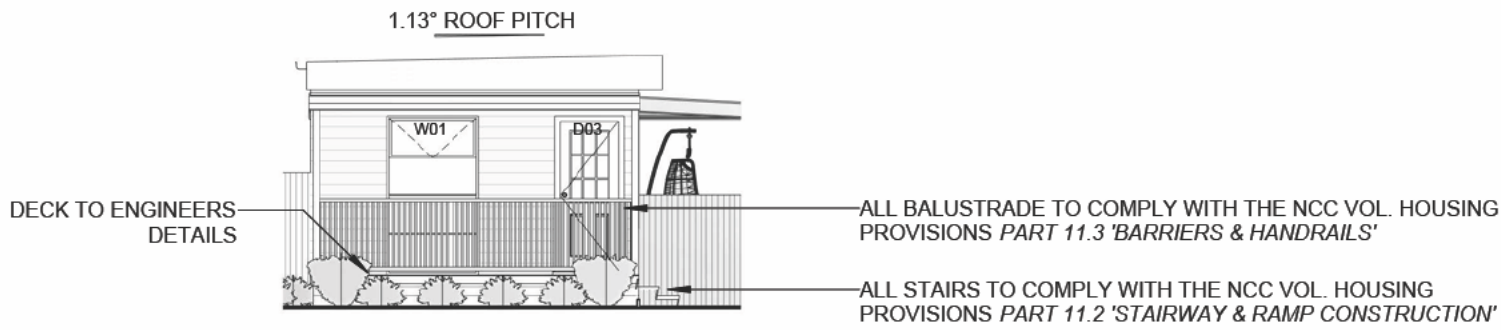
SOUTH // WEST ELEVATION
SCALE AT A3 1:100



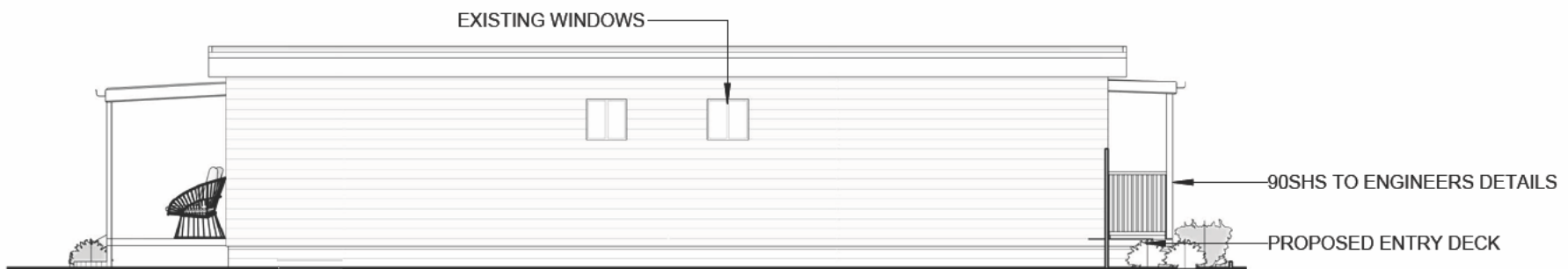
NORTH // WEST ELEVATION
SCALE AT A3 1:100



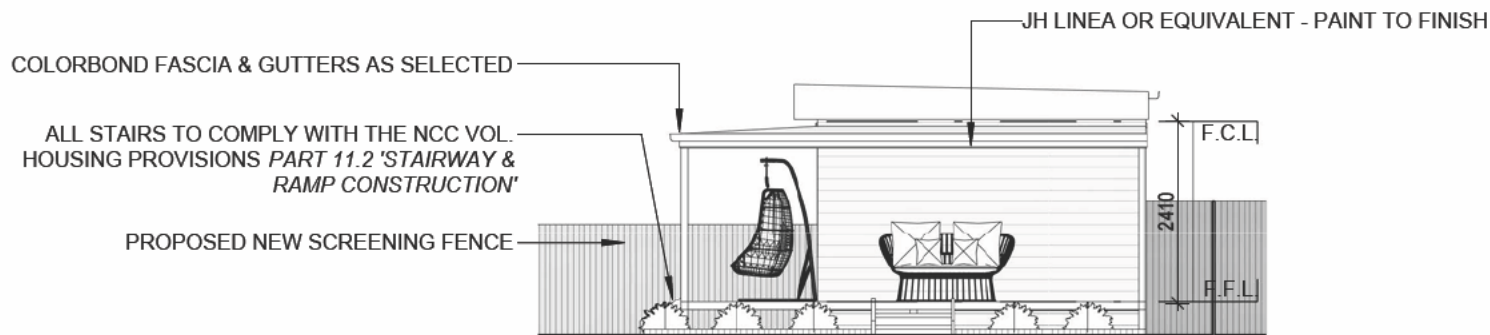
NORTH // EAST ELEVATION
SCALE AT A3 1:100



SOUTH // EAST ELEVATION
SCALE AT A3 1:100



SOUTH // WEST ELEVATION
SCALE AT A3 1:100



NORTH // WEST ELEVATION
SCALE AT A3 1:100