

Applicant contact details

Title	Mr
First given name	Damien
Other given name/s	
Family name	Macpherson
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	I am the only owner of the development site
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Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	Yes
Provide details	Dogs reside onsite, nonaggressive & friendly. Site access is gated but not locked

Developer details

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

Development details

Application type	Development Application
Site address #	1
Street address	62 LOWE STREET HOWLONG 2643
Local government area	FEDERATION
Lot / Section Number / Plan	2/-/DP1130757 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP Corowa Local Environmental Plan 2012 Land Zoning R1: General Residential Height of Building NA Floor Space Ratio (n:1) NA Minimum Lot Size 550 m ² Heritage

NA
 Land Reservation Acquisition
 NA
 Foreshore Building Line
 NA

Proposed development

Selected common application types	Erection of a new structure
Selected development types	Shed Earthworks, retaining walls and structural support
Description of development	Staged development including retaining wall in front yard, Site prep and associated retaining works in backyard for 12m x 7.6m shed
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	0
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	0
Total site area (m2)	0
Total net lettable area (m2)	0
What is the estimated development cost, including GST?	\$70,000.00
Estimated development cost	\$70,000.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	
Concept development	
Is the development to be staged?	Yes, this application is for staged development which may include concept and/or multiple stages.
Is it a concept only application?	No
Description of the proposed staging of the development	Stage 1: Retaining wall in front yard to support front and side garden beds. Driveway to be constructed along new wall to provide access around side of dwelling to proposed shed. Rear of property works will include site prep and associated retaining works to prepare site for future shed. Stage 1 does not include concrete pad for shed. Stage 2: Construction of 12 x 7.6 x 3m Colourbond shed.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
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Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	Yes
Description provided	Kellie Macpherson - (Planning department) - Wife
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	Development that is wholly residential

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	Damien
Other given name(s)	
Family name	Macpherson
Contact number	██████████
Email address	██████████
Billing address	████████████████████

Application documents

The following documents support the application.

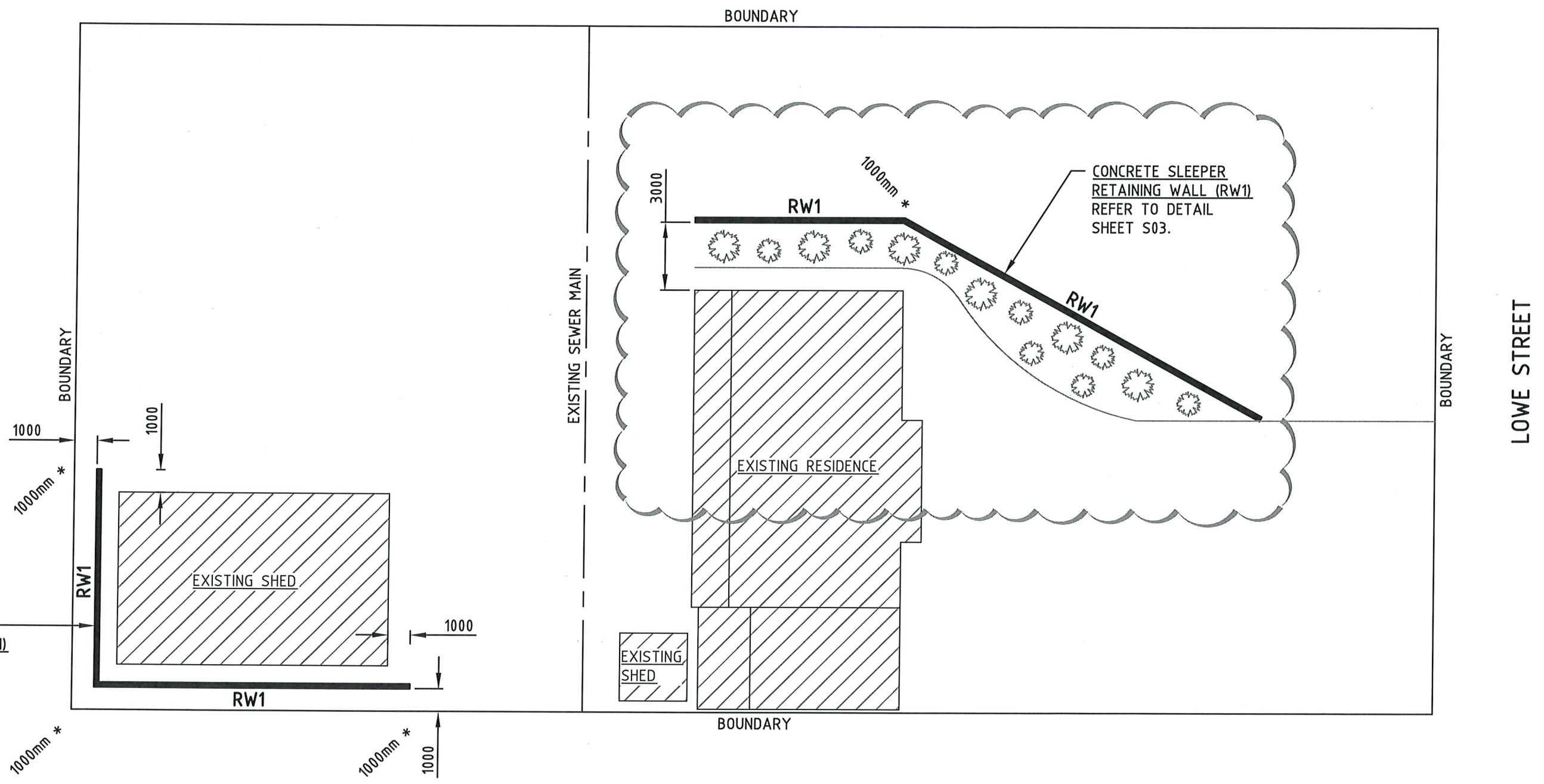
Document type	Document file name
Architectural Plans	Retaining wall details - 62 Lowe Street Howlong
Elevations and sections	Elevations - 62 Lowe Street Howlong
Site Plans	Site Plan - 62 Lowe Street Howlong
Statement of environmental effects	SEE - 62 Lowe Street Howlong

Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

SERVICES NOTE:
 BUILDER TO LOCATE ALL SERVICES
 PRIOR TO CONSTRUCTION WORK.

* DENOTES APPROX RETAINING HEIGHTS.
 (TO BE CONFIRMED ON SITE)



SITE PLAN
 SCALE 1:200

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CLIENT:
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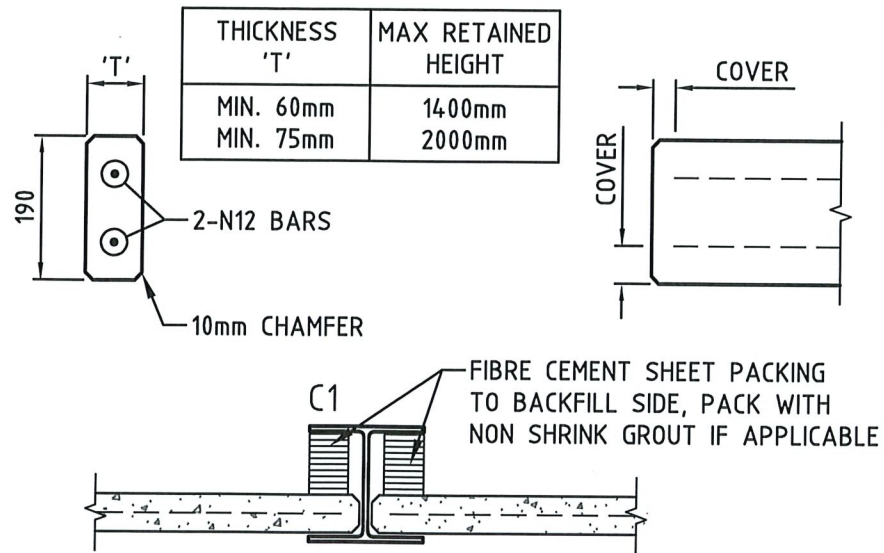
391 TOWNSEND STREET ALBURY NSW 2640
 PHONE (02) 60217233 FAX (02) 60412579
 EMAIL consulting@sje.com.au

PROJECT REFERENCE: **900325** PRINTED : 22/10/2024 BY: SHANE ANDERSON A3

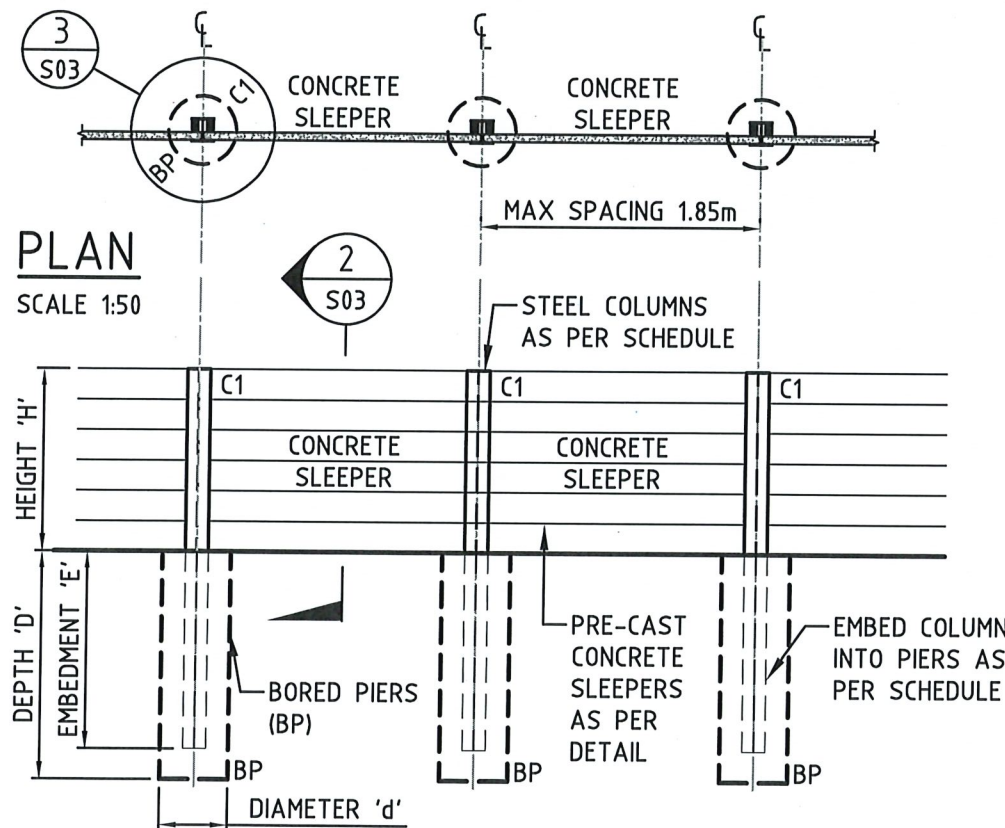
**PROPOSED RETAINING WALL
 FOR RETAIN IT ALL
 AT 62 LOWE STREET
 HOWLONG, NSW**

REV.	AMENDMENTS	DATE	INIT.
B	SITE PLAN AMENDED	22/10/24	S A
A	FIRST ISSUE	16/10/24	RB

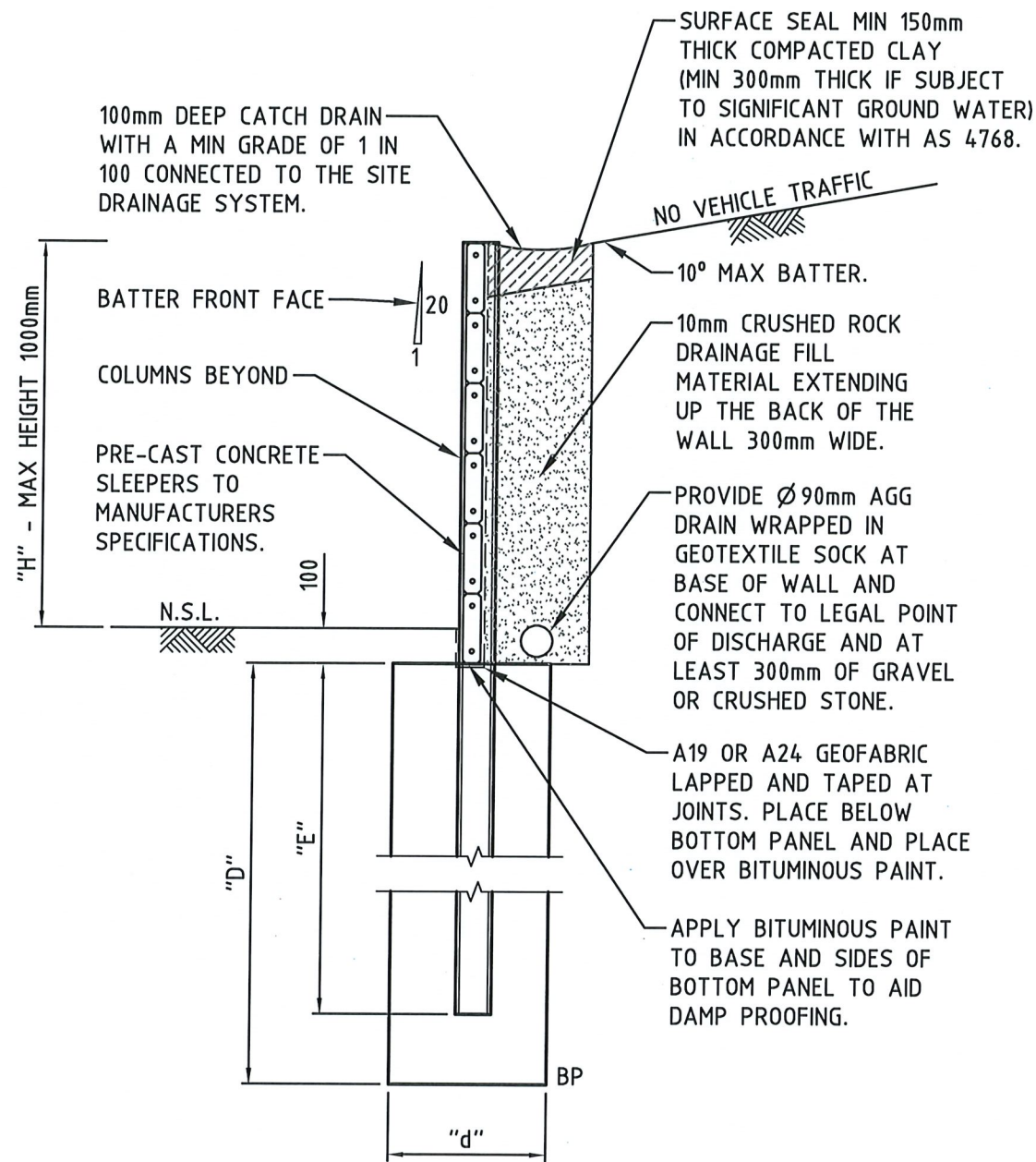
DESIGN: MARK WALLACE	DRAWN: ROBERT BOEHM	DRAWING NO.	REVISION
CHECKED: <i>[Signature]</i>	SHEET: 2 OF 3	900325-S02	B



DETAIL 3
SCALE 1:10 S03



TYPICAL CONCRETE SLEEPER
RETAINING WALL
SCALE 1:50

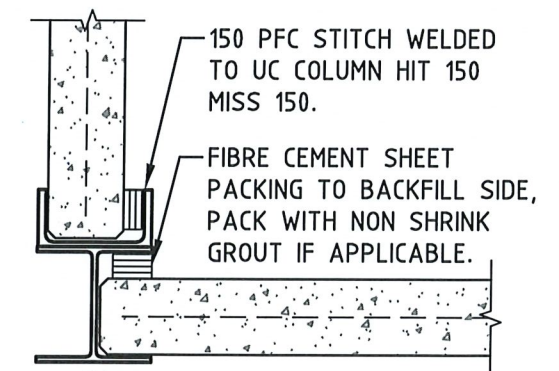


SECTION 2
SCALE 1:20 S03

RETAINING WALL SCHEDULE				
HEIGHT "H"	DIAMETER "d"	DEPTH "D"	EMBED "E"	COLUMN SIZE C1
200	450	600	400	100 UC 15
400	450	600	400	100 UC 15
600	450	800	600	100 UC 15
800	450	1100	800	100 UC 15
1000	450	1400	1200	100 UC 15

THESE RETAINING WALL DETAILS ARE GENERIC ONLY AND ARE APPLICABLE TO THE SOIL CONDITIONS IN NOTE W6 ON SHEET 1. THESE DESIGN DRAWINGS SHOULD BE CERTIFIED BY A QUALIFIED ENGINEER TO ENSURE THE GROUND AND LOADING CONDITIONS ARE SUITABLE FOR EACH INDIVIDUAL SITE.

NOTE:
WHERE THE HEIGHT OF THE WALL IS LESS THAN 600, POST EMBEDMENT CAN BE REDUCED TO THE SAME HEIGHT AS THE WALL & FOOTINGS MIN 100mm DEEPER.



TYPICAL CORNER DETAIL
SCALE 1:10

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CLIENT:
RETAIN IT ALL



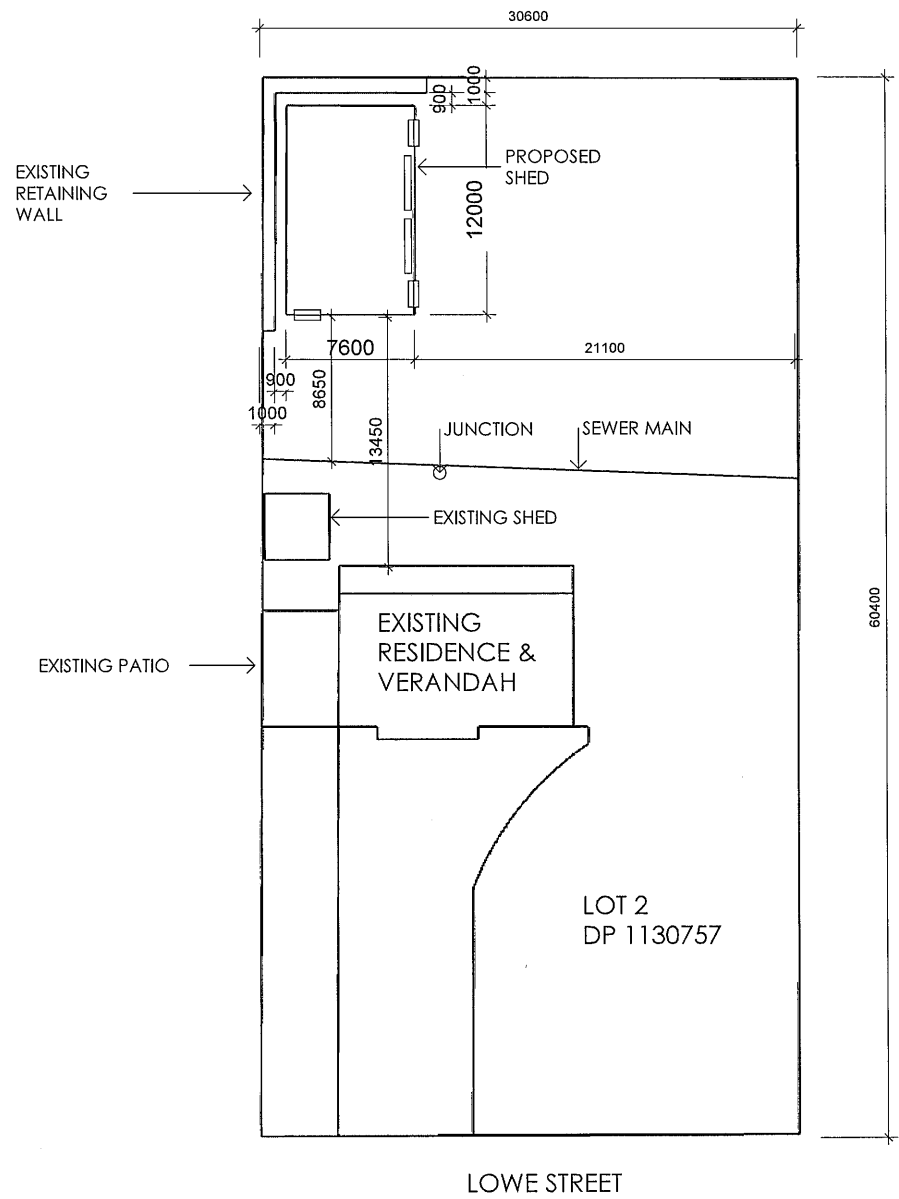
391 TOWNSEND STREET ALBURY NSW 2640
PHONE (02) 60217233 FAX (02) 60412579
EMAIL consulting@sje.com.au

PROJECT REFERENCE: 900325 PRINTED: 22/10/2024 BY: SHANE ANDERSON A3

PROPOSED RETAINING WALL
FOR RETAIN IT ALL
AT 62 LOWE STREET
HOWLONG, NSW

DESIGN: MARK WALLACE	DRAWN: ROBERT BOEHM	DRAWING NO.	REVISION
CHECKED: [Signature]	SHEET: 3 OF 3	900325-S03	B

REV.	AMENDMENTS	DATE	INIT.
B	SITE PLAN AMENDED	22/10/24	S A
A	FIRST ISSUE	16/10/24	RB



ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE. DIMENSIONS SHOWN ARE TO BE USED AS A GUIDE ONLY. ACTUAL DIMENSIONS MAY VARY DUE TO CONDITIONS ENCOUNTERED ON SITE AND CONSTRUCTION METHODS REQUIRED TO MEET MANUFACTURERS RECOMMENDATIONS. DO NOT SCALE FROM DRAWINGS. ALL WORK TO CONFORM TO BCA, COUNCIL REGS & A.S. CODES. © COPYRIGHT - REPRODUCTION OF DRAWINGS IN PART OR WHOLE IS NOT PERMITTED UNLESS APPROVED IN WRITING.

ISSUE	AMENDMENT	DATE
A	ORIGINAL ISSUE	17.10.2024
B	AMENDMENT	21.10.2024

Client:
D.Macpherson

CLIENT:

PROJECT:
Proposed Shed
62 Lowe Street
Howlong NSW 2643

DRAWING TITLE:
SITE PLAN

SCALE:

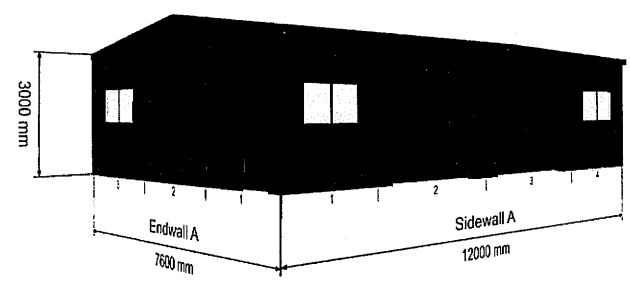
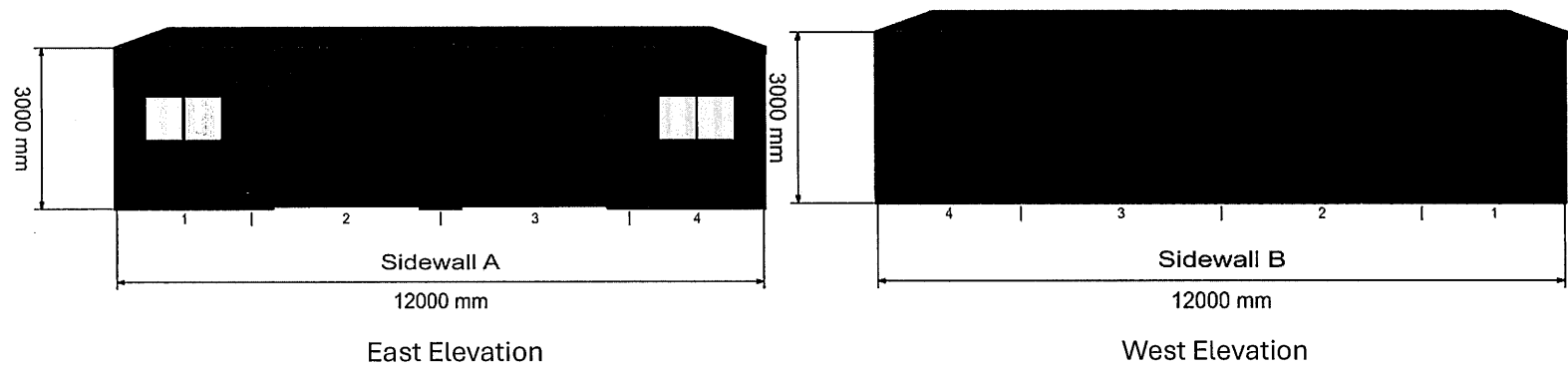
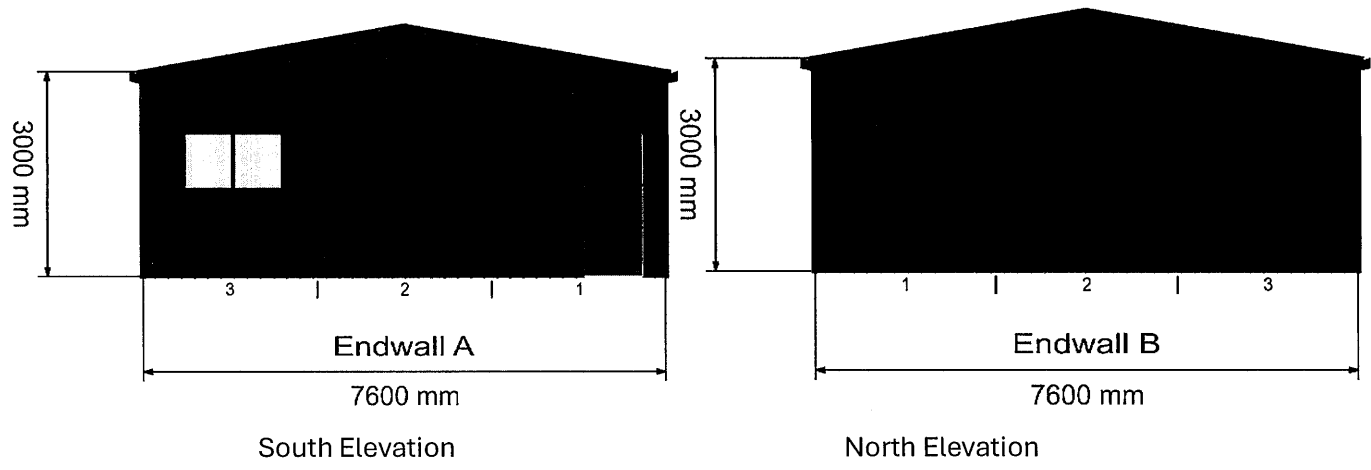
DATE:
21.10.2024

DRAWN:

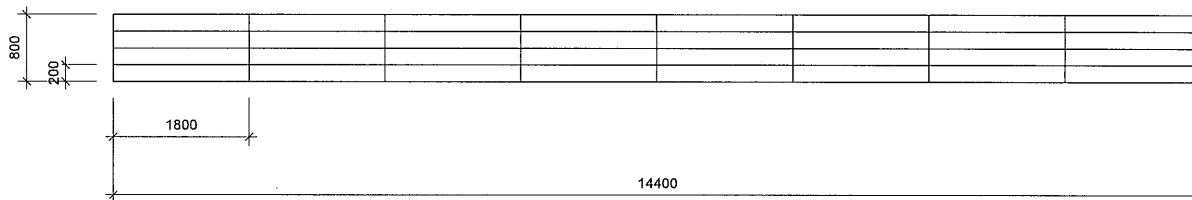
SHEET
1 of 1

PROJECT No. SHEET NO. ISSUE
- A01

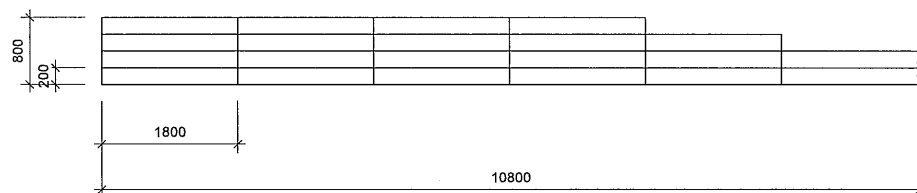
SP1 SITE PLAN



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 DIMENSIONS SHOWN ARE TO BE USED AS A GUIDE ONLY.
 ACTUAL DIMENSIONS MAY VARY DUE TO CONDITIONS ENCOUNTERED ON SITE AND CONSTRUCTION METHODS REQUIRED TO MEET MANUFACTURERS RECOMMENDATIONS.
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ISSUE	AMENDMENT	DATE
A	ORIGINAL ISSUE	17.10.2024



Client:
 D.Macpherson

CLIENT:

PROJECT:
 62 Lowe Street
 Howlong NSW 2643

DRAWING TITLE:
 Retaining Wall Elevations

SCALE:

DATE: 17.10.2024 DRAWN:

SHEET 1 of 1

PROJECT No. SHEET NO. ISSUE
 - A01 A

 ELEVATIONS



STATEMENT OF ENVIRONMENTAL EFFECTS - SMALL SCALE RESIDENTIAL AND CHANGE OF USE

Standard form for minor developments only.

A COMPLETED STATEMENT OF ENVIRONMENTAL EFFECTS (SEE) IS REQUIRED TO ACCOMPANY ALL DEVELOPMENT APPLICATIONS EXCEPT INTERGRATED DEVELOPMENTS WHICH REQUIRE AN ENVIRONMENTAL IMPACT STATEMENT (EIS).

ABOUT THIS FORM: This SEE template is designed to form an attachment to the Development Application. It can only be used for the following development types:

- ✓ Dwellings, single storey in the R1, R2, RU1, RU5 and R5 zones.
- ✓ Single shops or commercial premises in the B1, B2 & B6 zones*
- ✓ Residential alterations and additions
- ✓ Ancillary residential buildings and structures such as, verandahs, carports, garages, sheds, pergolas, swimming pools.

A Statement of Environmental Effects (SEE) or a heritage impact statement is required for all premises within the Heritage Conservation area. This will be required for the majority of developments in the commercial precinct of Corowa.

Developments not listed above may require a SEE with greater detail. Please contact Council for further information.

The SEE must address all impacts that are relevant to your proposal. With comment on how the development will control or mitigate the impact. No matter how minor the impact, please advise Council in this document.

Failure to provide the requested items will delay processing of the development application and may result in the application being returned to you for completion or you receiving an additional information request from Council.

APPLICATION DETAILS

Applicant: Damien Macpherson

APPLICANT'S DECLARATION: I/we declare to the best of my/our knowledge and belief, that the particulars stated on this document are correct in every detail and that the information required has been supplied. I/we acknowledge that the development application may be returned to me if information is found to be missing or inadequate.

Applicant Signature: *Damien Macpherson* Date: 12-10-24

PROPERTY DETAILS

Property Name: _____

Unit/House No.: 62 Street Name: Low Street

Town: Howlong Postcode: 2643

Lot: 2 Section: _____ DP/SP: 1130757

PROPOSED DEVELOPMENT

Where applicable include a description of matters such as proposed buildings, proposed building materials, nominated colour scheme. Nature of use, staging of the development, details of any demolition and other works to be carried out in site.

staged development including retaining wall in front yard, site cut & fill & associated retaining works in backyard & 12m x 7.6m shed.

PLANNING CONTROLS

- Is your proposal permissible in the zone under Corowa LEP 2012 / Urana LEP 2011 YES NO
- Is your proposal consistent with the zone objectives? YES NO
- Is your proposal in accordance with Corowa DCP 2013 / Urana DCP 2011 YES NO

NOTE: If you answered no to any of the above questions please discuss your application with Council staff.

Are there any other planning controls relevant to your proposal YES NO

if yes, please list controls and how the application complies: Flood Affected

DESCRIPTION OF SITE

Include where applicable a description of the physical features of the site such as shape, slope, vegetation, waterways.

No vegetation removal as part of this application. Block slopes downward from Northern boundary fence to Southern boundary fence. Property is listed as a flood affected lot.

What is the present use and previous use(s) of the site?

residential

Is the development site subject to any of the following natural hazards?

Bushfire Prone	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Flooding	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Storm water inundation	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO

NOTE: If the site is identified as Bushfire Prone it will be necessary to address the Planning for Bushfire Protection Guidelines. For further information please consult the NSW Rural Fire Service website.

How will you mitigate the impact of the natural hazards for this development?

Front retaining works will be used to reduce erosion of existing front & southern garden beds. This will reduce sediment run-off into council storm water. Shed storm water will be connected to property legal point of discharge

Is the site constrained by any of the following? (Please refer to LEP Maps)

Terrestrial biodiversity	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Riparian Land and Watercourses	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Groundwater vulnerability	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Wetlands	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Item of Environmental Heritage or in conservation area *	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

How will you mitigate the impact of the development on these constraints?

*Note a Heritage Impact statement may be required. Please discuss with Council

What types of land use and development exist on the surrounding land?

Residential

CONTEXT AND SETTING – WILL THE DEVELOPMENT BE

Visually prominent in the surrounding area?	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> NO visual from road
Inconsistent with the existing streetscape?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Out of Character with the surrounding area?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Inconsistent with surrounding land uses?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Vary a building line setback	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

If you answered yes to any of the above please provide details and justification for the proposed:

PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space etc? YES NO
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? YES NO
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners, pump, bedroom and living room windows etc? YES NO
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks, road or footpaths? YES NO

If YES, please provide details of issue. Some issues will require plans, i.e. overshadowing.

ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development? YES NO
- Will the development increase traffic movements/volumes? YES NO
- If Yes by how much and what types of Vehicles?
- Are additional access points to a road network required? YES NO
- Has vehicle maneuvering and onsite parking been addressed in the design? YES NO
- Is power, water, electricity, sewer and telecommunication service readily available to the site? YES NO

Comments *Once stage 1 is complete (all retaining works) there will be vehicular access to shed*

ENVIRONMENTAL IMPACTS

- Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO
- Does the development have the potential to result in any form of water pollution (i.e. sediment from runoff)? YES NO
- Will the development have any noise impacts above background noise levels? (i.e. air conditioner units, pool pumps)? YES NO
- Does the development involve any significant excavation or filling? YES NO
- Could the development cause erosion or sediment runoff (including during construction)? YES NO
- Is there a likelihood of the development resulting in site contamination? YES NO
- Is the development considered to be environmentally sustainable (including provisions of BASIX certificate where required)? YES NO
- Is the development situated in a heritage conservation area or likely to have an impact on any heritage item or item of cultural significance? YES NO
- Is the development likely to disturb any aboriginal artifacts or relics? YES NO

Comments

FLORA AND FAUNA – FOR THREATENED SPECIES PLEASE VISIT www.threatenedspecies.nsw.gov.au

- Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO
- Will the development result in the removal of any native vegetation from the site? YES NO
- Is the development likely to have any impact on threatened species or native habitat? YES NO

If answer is YES TO EITHER OF THE ABOVE QUESTIONS IT MAY BE NECESSARY TO HAVE A FORMAL SEVEN PART TEST COMPLETED TO ASSESS THE IMPACT ON THREATENED SPECIES – PLEASE CONTACT COUNCIL FOR FURTHER INFORMATION.

Comments

WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of Sewer Septic *N/A*
- Will liquid trade waste be discharged to Council's sewer? YES NO
- Will the Development result in any hazardous waste or other waste disposal issue? YES NO
- How will stormwater (from roof and hard standing areas) be disposed of? Council System Other (Provide Details)

Details:

- Have all potential overland stormwater risks been considered in the design of the development? YES NO

Comments

SOCIAL AND ECONOMIC IMPACTS

- Will the proposal have any economic or social consequences in the area? YES NO
- Has the development addressed safety, security or crime prevention issues? YES NO

Comments

OTHER RELEVANT MATTERS

Are there any other matters for consideration that you are aware of as developer?

OTHER RELEVANT MATTERS (Continued)

LEGAL REFERENCES

Section 78A(9) of the Environmental Planning and Assessment Act 1979 states that the regulations may specify what is required to be submitted with a development application.

Section 50(1)(a) of the Environmental Planning and Assessment Regulation 2000 states that development applications must contain information and documents specified in schedule 1 part 1.

Schedule 1, part 1, subclause 2(1)(c) of the Environmental Planning and Assessment Regulation 2000 requires the submission of Statements of Environmental Effects (SEEs) with all development applications (other than complying and designed development).

Schedule 1, part 1, subclause 4 of the Environmental Planning and Assessment Regulation 2000 states that such SEEs must show:

- The environmental impacts of the development
- How the impacts have been identified?
- The steps to be taken to protect the environment or lessen the expected harm to the Environment
- Any matters required to be indicated by any guidelines issued by the Director-General.

The Applicant is advised that Council will make copies of (including electronic copies) of the development application and accompanying documents for the purpose of complying with its obligations under the Environmental Planning and Assessment Act 1979 and the Local Government Information (Public Access) Act 2009. The applicant is responsible for obtaining all copyright licenses necessary from the copyright owners for this purpose.

PRIVACY STATEMENT: Information provided to Council may comprise personal information as defined under the Privacy and Personal Information Protection Act 1998. Personal information may be utilised by Council to assess any application under the Environmental Planning and Assessment Act 1979 and in accordance with other legislation. Please note that personal information may also be made available to third parties in accordance with the Government Information (Public Access) Act 2009.

COPYRIGHT STATEMENT:

1. To the extent that the signatory to this form is the copyright owner of documents lodged with this application, you licence Council to make all documents publicly available, and further licence Council to reproduce and/or communicate all such documents for any purpose associated with the exercise of its functions, and for the purpose of complying with its obligations under the Government Information (Public Access) Act 2009 and any other applicable legislation.
2. By executing this form, the signatory warrants that to the extent that he/she is not the copyright owner of any documents lodged with this application, Council is licensed by the copyright owner to use the documents lodged with this application in accordance with paragraph 1 above.
3. By executing this form, the signatory indemnifies Council against all claims and actions in respect of a breach of copyright arising from any unauthorised use of any documents lodged with this application.