

**Applicant contact details**

Title	Mr
First given name	Will
Other given name/s	
Family name	McBurnie
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	Yes
ABN	48095458503
ACN	095458503
Name	MCBURNIE GROUP PTY LTD
Trading name	MCBURNIE GROUP PTY LTD
Is the nominated company the applicant for this application	Yes

**Owner/s of the development site**

Owner/s of the development site	There are one or more owners of the development site and the applicant is NOT one of them
Owner #	1
Title	Mr
First given name	Darren
Other given name/s	
Family name	Pay
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

**Site access details**

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	Yes
Provide details	Locked Gates

**Developer details**

ABN	48 095 458 503
ACN	095 458 503
Name	MCBURNIE GROUP PTY LTD
Trading name	MCBURNIE GROUP PTY LTD
Address	
Email Address	[REDACTED]

**Development details**

Application type	Development Application
Site address #	1
Street address	55-57 DEFENCE DRIVE MULWALA 2647
Local government area	FEDERATION
Lot / Section Number / Plan	41-/DP1257361 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	Land Application LEP Corowa Local Environmental Plan 2012 Land Zoning E4: General Industrial Height of Building 9 m Floor Space Ratio (n:1) NA Minimum Lot Size NA Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA

#### Proposed development

Selected common application types	Erection of a new structure
Selected development types	General industry
Description of development	Construction of second Class 7(B) Shed on property.
Provide the proposed hours of operation	
Proposed to operate 24 hours on Monday	No
Monday	-
Proposed to operate 24 hours on Tuesday	No
Tuesday	-
Proposed to operate 24 hours on Wednesday	No
Wednesday	-
Proposed to operate 24 hours on Thursday	No
Thursday	-
Proposed to operate 24 hours on Friday	No
Friday	-
Proposed to operate 24 hours on Saturday	
Saturday	-
Proposed to operate 24 hours on Sunday	
Sunday	-
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	0
Existing gross floor area (m2)	288
Proposed gross floor area (m2)	336
Total site area (m2)	3,247
Total net lettable area (m2)	0

What is the estimated development cost, including GST?	\$151,000.00
Estimated development cost	\$151,000.00
Do you have one or more BASIX certificates?	
<b>Climate Zone</b>	
What climate zone/s is the development in?	Climate zone 8 - alpine
Has the climate zone impacted the design of the development?	No
<b>Subdivision</b>	
Number of existing lots	
<b>Proposed operating details</b>	
Number of additional jobs that are proposed to be generated through the operation of the development	1
Number of staff/employees on the site	1

#### Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
<b>Concept development</b>	
Is the development to be staged?	No, this application is not for concept or staged development.
<b>Crown development</b>	
Is this a proposed Crown development?	No

#### Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	Yes
What are the reasons the development is biodiversity compliant development?	
Is this application subject to a private land conservation agreement under the Biodiversity Conservation Act 2016?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
<b>Section 68 of the Local Government Act</b>	
Is approval under s68 of the Local Government Act 1993 required?	No
<b>10.7 Certificate</b>	
Have you already obtained a 10.7 certificate?	

<b>Tree works</b>	
Is tree removal and/or pruning work proposed?	No
<b>Local heritage</b>	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
<b>Affiliations and Pecuniary interests</b>	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
<b>Political Donations</b>	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

#### Sustainable Buildings

Is the development exempt from the <a href="#">State Environmental Policy (Sustainable Buildings) 2022</a> Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	An alteration or addition with a Capital Investment Value under \$10 million, or a new development with a Capital Investment Value under \$5 million

#### Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

Company Name	McBurnie Group Pty Ltd
ABN	48 095 458 503
ACN	095 458 503
Trading Name	Fair Dinkum Builds Yarrawonga
Email address	[REDACTED]
Billing address	[REDACTED]

**Application documents**

The following documents support the application.

Document type	Document file name
Cost estimate report	PAN-430522_ [REDACTED] - Cost Summary Report
Site Plans	55-57 Defence Drv construction drawings 12-04-24
Statement of environmental effects	PAN-430522_ [REDACTED] - Environmental Effects

**Applicant declarations**

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

ADDRESS: 55-57 Defence Dr, Mulwala, NSW 2647  
 LOT & PLAN NUMBER: Lot 41 DP 1257361  
 PROPERTY No: 3121001  
 LOCAL GOVERNMENT AREA: FEDERATION SHIRE  
 LEP ZONE IN1 - GENERAL INDUSTRIAL



INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

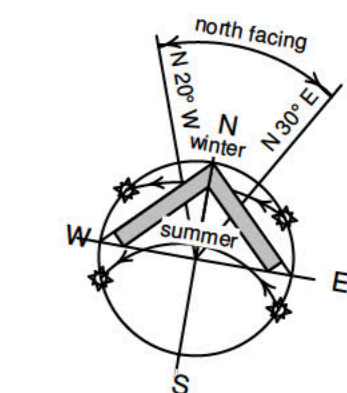
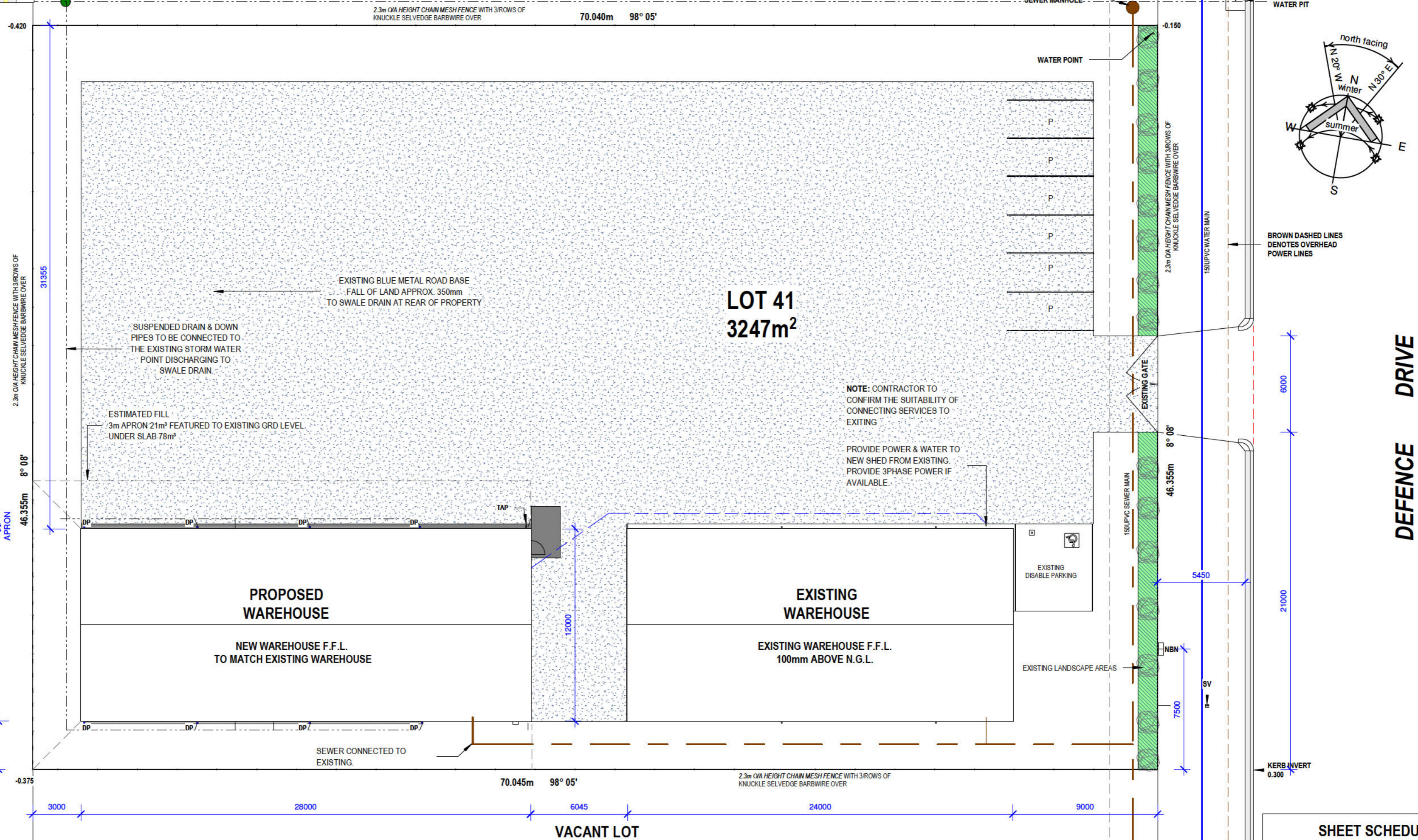
DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE OWNER, BUILDER & SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO DESIGNER FOR CLARIFICATION.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS; AND ALL OTHER CONSULTANTS DRAWINGS / DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.



LOCALITY PLAN  
1:1600



BROWN DASHED LINES DENOTES OVERHEAD POWER LINES

DEFENCE DRIVE

**LEVELS NOTE:**  
ALL LEVELS ARE APPROXIMATE ONLY EXACT LEVELS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER

**DIMENSIONS NOTE:**  
ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER DO NOT SCALE DRAWINGS

**CONSULTANTS NOTE:**  
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL ENGINEER, CIVIL ENGINEER AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT

**SURFACE DRAINAGE:**  
THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1m

AREA SCHEDULE		
NAME	AREA	SQUARES
PROPOSED WAREHOUSE	324.00 m <sup>2</sup>	34.88
EXISTING WARE HOUSE	288.00 m <sup>2</sup>	31
Grand total	612.00 m <sup>2</sup>	65.88

**COLOR SCHEME**  
 WALL CLADDING: BASALT  
 ROOF CLADDING: BASALT  
 FASCIA GUTTER: BASALT  
 DOORS: BASALT

SITE PLAN  
1:200

SHEET SCHEDULE	
01	SITE PLAN
02	FLOOR PLAN
03	ELEVATIONS
04	ELEC/LIGHTING PLAN
05	TURNING-DRIVEWAY



12 ACACIA ST  
 PO BOX 396  
 YARRAWONGA VIC 3730  
 PH: 03 5744 1111  
 ABN 48 095 457 503  
 Shane McBurnie  
 0419593592

Drafting by  
**Richmond Design Group**  
 REGISTERED  
 Building Practitioner  
 DP-AD 39373

NOTE:  
DO NOT SCALE DRAWINGS  
ALL DIMENSIONS TO BE  
VARIFIED BY BUILDER  
ON SITE PRIOR TO  
ORDERING OF MATERIALS.  
ALL WORKS TO CONFORM  
TO NCC & ALL  
RELEVANT STANDARDS

PROPOSED WAREHOUSE  
 Client: D & S PAY SUPERANNUATION FUND  
 Address:  
 55-57 Defence Dr, Mulwala, NSW 2647

SHEET NAME:	REV:	DESCRIPTION	DATE	Copyright of these drawings are the property of Stephen Richmond Building Design & Consultancy. The drawings & design may not be used or reproduced without the expressed approval of the designer. A1 SHEET SIZE
SITE PLAN SHEET No: 01 Date: 29/03/2024 Project No: 10/24 Drawn By: SAR Chk: SAR	R1	CONCEPT DRAWINGS	29-03-24	
	R2	PRELIM' REVISION 01	04-04-24	
	R3	PRELIM' REVISION 02	00-00-24	
	R4	PRELIM' REVISION 03	00-00-24	
	R5	DA/CC DRAWINGS	12-04-24	

**DOOR SCHEDULE**

No	ROOM	HEIGHT	WIDTH	TYPE
D-01	WAREHOUSE	2040	870	HINGED- METAL DOOR
D-02	WAREHOUSE	4300	3100	ROLLER DOOR
D-03	WAREHOUSE	4300	4000	ROLLER DOOR
D-04	WAREHOUSE	4300	4000	ROLLER DOOR
D-05	WAREHOUSE	4300	4000	ROLLER DOOR
D-06	WAREHOUSE	4300	4000	ROLLER DOOR
D-07	WAREHOUSE	4300	4000	ROLLER DOOR
D-08	DISABLE WC	2040	870	HINGED-HOLLOW CORE

**FLOOR COVERINGS:**  
R10 SLIP RESISTANCE  
ALL FLOORING TO MEET THE RELEVANT STANDARDS AND NNC REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  
AS 4586  
AS 1428.1  
FLOORING-RECOMMENDED- ARMSTRONG ACCOLADE FOOTHOLD (MIN P3-R10 OR B)  
SKIRTING-COVE: MIN 100mm HIGH

**ACCEPTABLE FITTINGS & FIXTURES:**  
TOILET SUITES:  
ACCESSIBLE: CAROMA COSMO CARE SUITE WITH CARAVELLE CARE SEAT, ACCESS AND MOBILITY 4.5/3 LITRE DUAL FLUSH TOILET SUITE. (CHECK EXACT MODEL NO.)  
AMBULANT: CAROMA COSMO CARE SUITE. 4.5/3 LITRE DUAL FLUSH TOILET SUITE FOR ACCESSIBLE APPLICATIONS

**WALL BASIN:**  
CARE 600 CERAMIC WALL BASIN, BASIN SIZE: 600MM X 445MM (NOMINAL), VITREOUS CHINA SHROUD  
**TAPWARE:**  
ACQUA CARE BASIN MIXER, EXTENDED LEVER HANDLE FOR CARE FACILITIES OR THOSE WITH RESTRICTED MOVEMENT  
Product Code: 90989C5A

**THESE ARE EXAMPLES ONLY, ALTERNATIVES ACCEPTABLE PROVIDING THEY MEET ALL RELEVANT STANDARDS.**

THE COLOUR OF THE SYMBOL SHALL BE WHITE ON A BLUE BACKGROUND.  
THE BLUE SHALL BE B21, ULTRAMARINE, OF AS 2700, OR SIMILAR.  
SIGNS FOR UNISEX ACCESSIBLE FACILITIES SHALL BE PROVIDED WITH THE LETTERS LH OR RH TO INDICATE A LEFT-HAND OR RIGHT-HAND SIDE TRANSFER ONTO THE WC PAN.  
THE MINIMUM FONT SIZE SHALL BE 20 MM SAN SERIF.

EXIT DOORS TO BE IN ACCORDANCE WITH NCC 2022 PART D3 CONSTRUCTION OF EXITS  
D3D26 OPERATION OF LATCH  
BE READILY OPENABLE WITHOUT A KEY  
FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS.  
HAVE SINGLE HAND DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN  
900 MM AND 1.1 M FROM THE FLOOR  
HAVE A CLEARANCE BETWEEN THE HANDLE AND THE BACK PLATE OR DOOR FACE AT THE CENTRE GRIP SECTION OF THE HANDLE OF NOT LESS THAN 35mm AND NOT MORE THAN 45mm  
EXIT DOORS MUST NOT BE LOCKABLE FROM THE INSIDE TO ALLOW ACCESS FOR FIRE FIGHTING SERVICES.

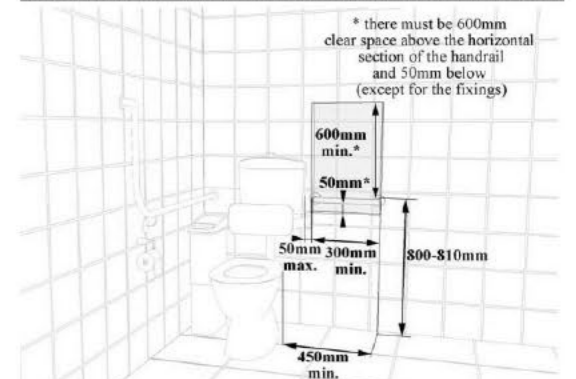
**DOOR HARDWARE NOTES:**  
ALL DOOR FURNITURE TO BE SET AT A HEIGHT BETWEEN 900mm & D 1.1m FROM FINISHED F.H. IN ACCORDANCE WITH AS 1428.1-2009 CLAUSE 13.5.3  
PROVIDE DOOR CLOSERS TO ALL EXTERNAL ADMIN DOORS.

LOCKWOOD 4805/70SC SQUARE END PLATE WITH 70 SERIES LEVER OR EQUIVALENT  
**NOTE FOR ALL HINGED DOORS**

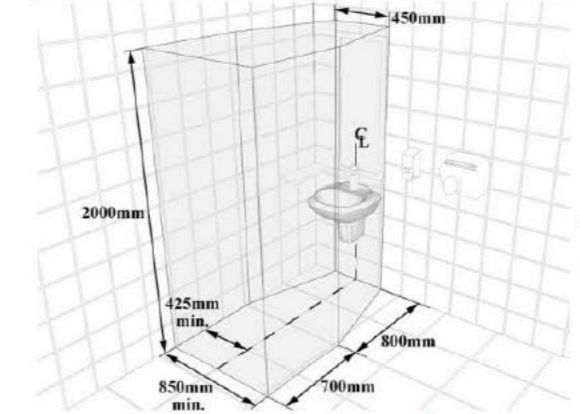
AS 1428.1 Clause 13.1 says:

THE DOORWAY MUST ACHIEVE A LUMINANCE CONTRAST OF AT LEAST 30% BETWEEN—  
(I) DOOR LEAF AND DOOR JAMB; OR  
(II) DOOR LEAF AND ADJACENT WALL; OR  
(III) ARCHITRAVES (WHERE USED) AND ADJACENT WALL; OR  
(IV) DOOR LEAF AND ARCHITRAVE (WHERE USED); OR  
(V) DOOR JAMB AND ADJACENT WALL.

**Grabrails to Toilet - Rear Wall Grabrail with Surface Mounted Cistern**

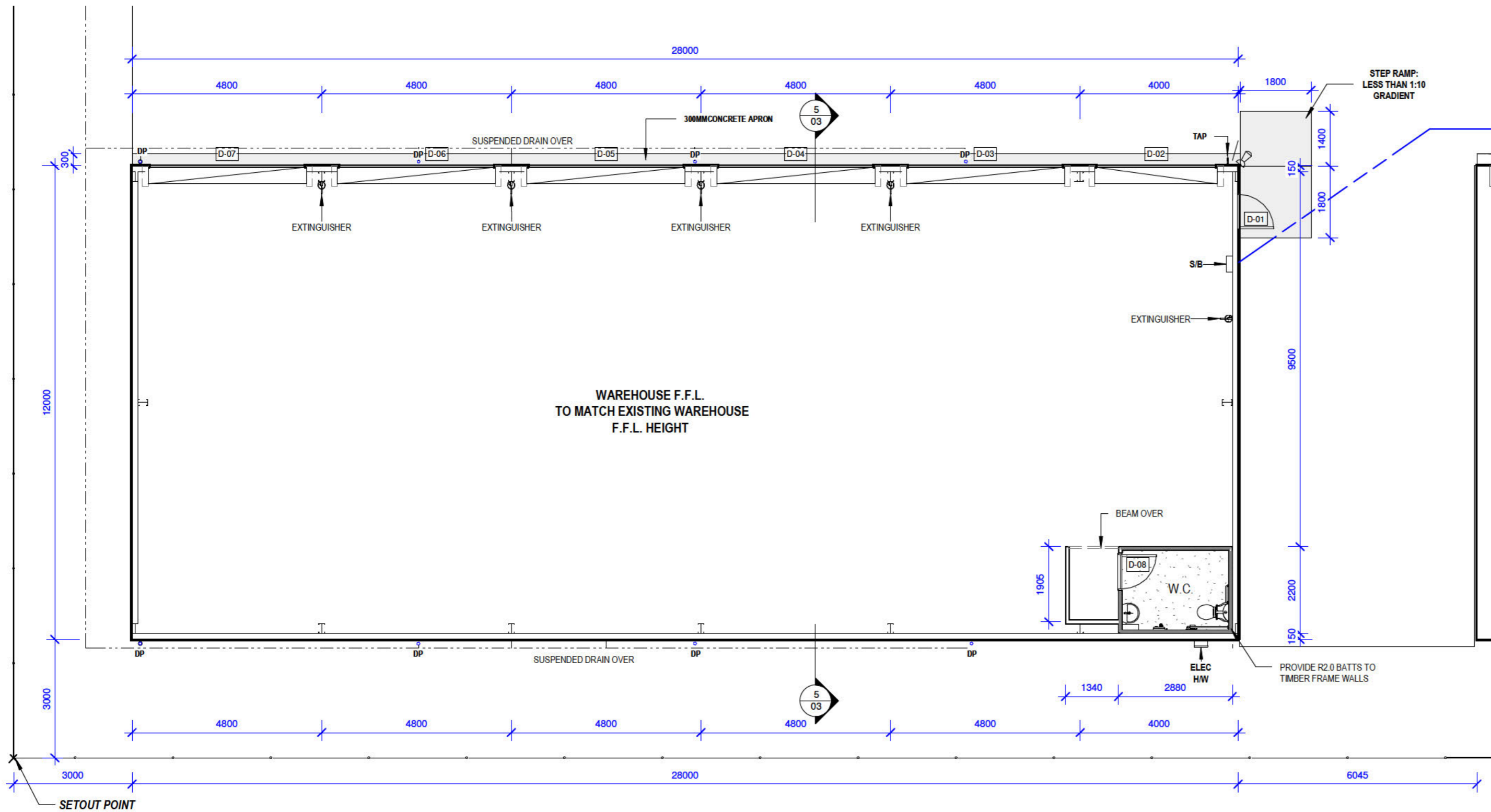
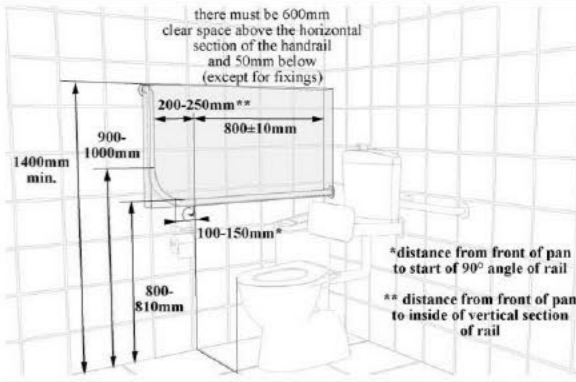


**Washbasin Circulation Space Requirements**



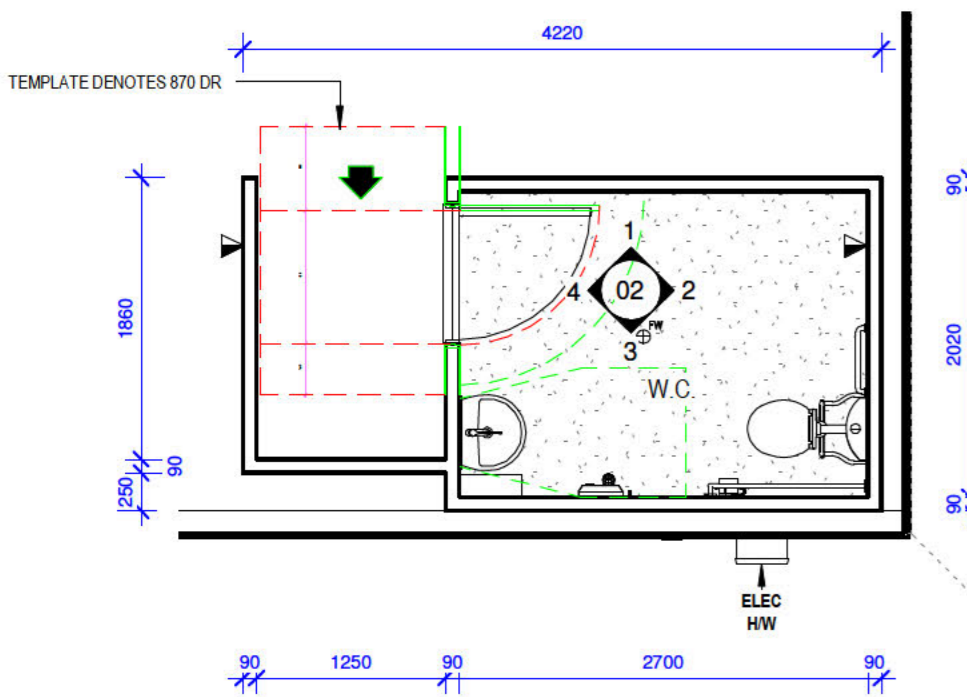
**IMPORTANT DIMENSIONS NOTE:**  
ALL DIMENSIONS ARE FROM FINISHED SURFACES OF FLOORS & WALLS.  
ALL WORKS TO AMENITIES MUST COMPLY TO THE NCC & AS 1428.1 2021  
ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER. DO NOT SCALE DRAWINGS

**Grabrails to Toilet - Side Wall Grabrail with 90° Angle**

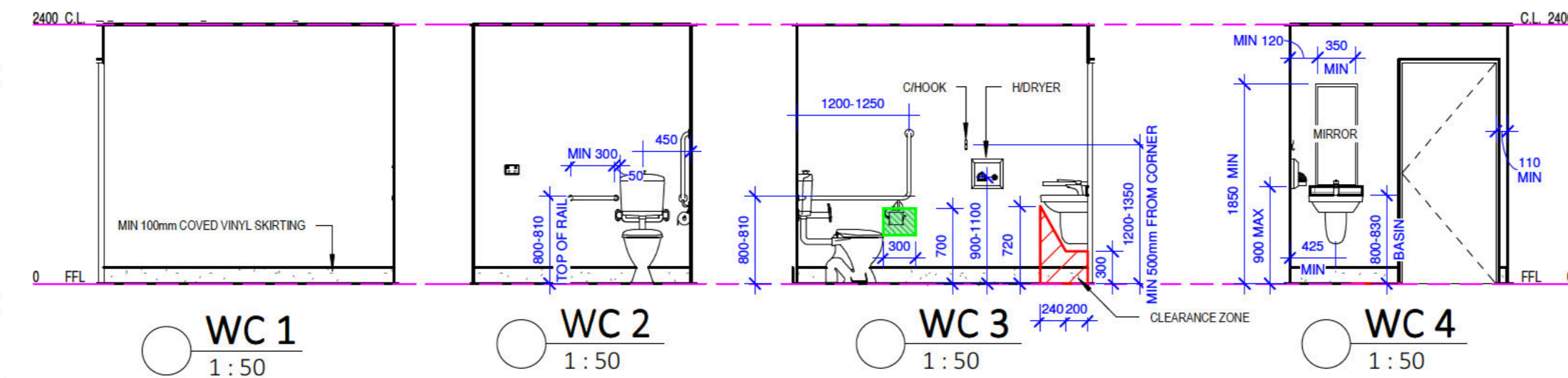


**FLOOR PLAN**  
1 : 100

**WATER PROOFING**  
REFER TO SECTIONS S26C1 TO S26C6 NCC 2022 VOLUME ONE FOR RELEVANT WATERPROOFING AND WATER-RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS.



**WC PLAN**  
1 : 50



**WC 1**  
1 : 50

**WC 2**  
1 : 50

**WC 3**  
1 : 50

**WC 4**  
1 : 50



12 ACACIA ST  
PO BOX 396  
YARRAWONGA VIC 3730  
PH: 03 5744 1111  
ABN 48 095 457 503  
Shane McBurnie  
0419593592

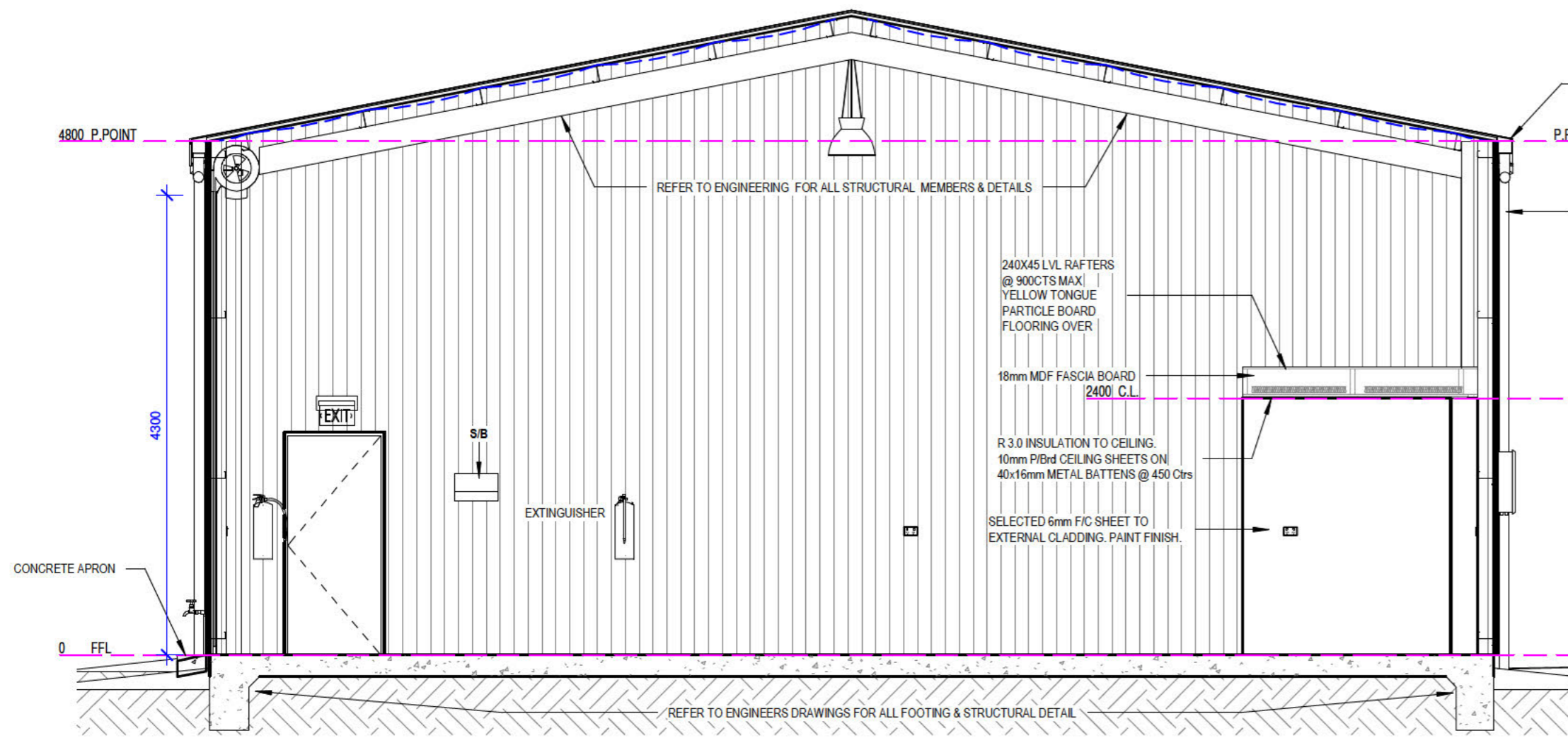
Drafting by  
**Richmond Design Group**  
REGISTERED  
Building Practitioner  
DP-AD 39373

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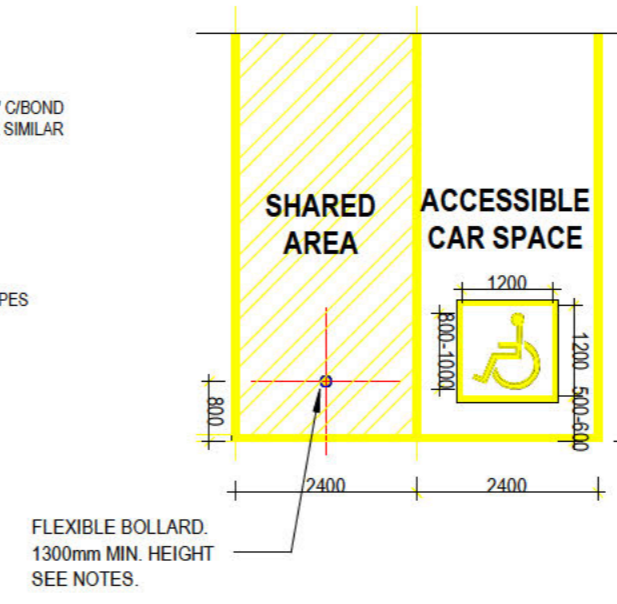
**PROPOSED WAREHOUSE**  
Client: D & S PAY SUPERANNUATION FUND  
Address:  
55-57 Defence Dr, Mulwala, NSW 2647

SHEET NAME:		REV:	DESCRIPTION	DATE
<b>FLOOR PLAN</b>		R1	CONCEPT DRAWINGS	29-03-24
SHEET No: 02	Scale: As Shown	R2	PRELIM REVISION 01	04-04-24
Date: 29/03/2024		R3	PRELIM REVISION 02	00-00-24
Project No: 10/24		R4	PRELIM REVISION 03	00-00-24
Drawn By: SAR	Chk: SAR	R5	DA/CC DRAWINGS	12-04-24

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**A1 SHEET SIZE**



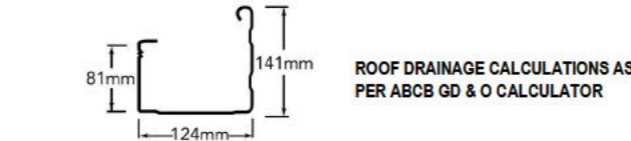
WAREHOUSE SECTION  
1 : 50



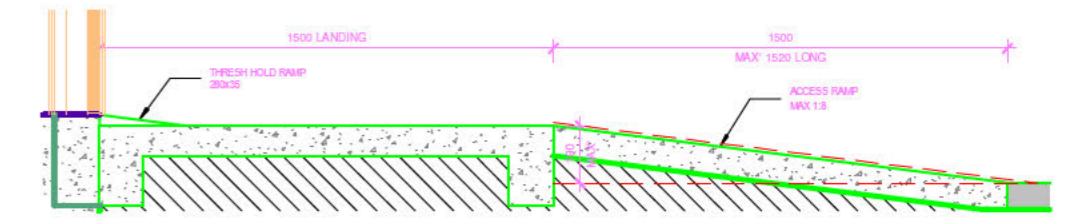
- SPACE IDENTIFICATION**
- EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 1428.1 BETWEEN 800 MM AND 1000mm HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200mm. PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE BETWEEN 500mm AND 500mm FROM ITS ENTRY POINT AS ILLUSTRATED
- SPACE DELINEATION**
- PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.
- PAVEMENT MARKING SHALL BE PROVIDED AS FOLLOWS:
1. LINEMARKING
    - 1.1 DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.
  2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:
    - 2.1 WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.
    - 2.2 OVER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200 MM WIDE WITH SPACES 200 MM TO 300 MM BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45-10 DEGREES TO THE SIDE OF THE SPACE
    - 2.3 RECOMMENDED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.
    - 2.4 ALL LINEMARKINGS MUST BE NON SLP
  - 3 BOLLARDS
    - 3.1 MINIMUM HEIGHT 1300mm
    - 3.2 RECOMMENDED COLOUR BLUE TO CONTRAST AGAINST YELLOW LINE MARKING
    - 3.3 RECOMMENDED FLEXIBLE BOLLARDS TO REDUCE MOTOR VEHICLE DAMAGE

ACCESSIBLE CAR PARKING SPACES  
IN ACCORDANCE WITH AS2890.6

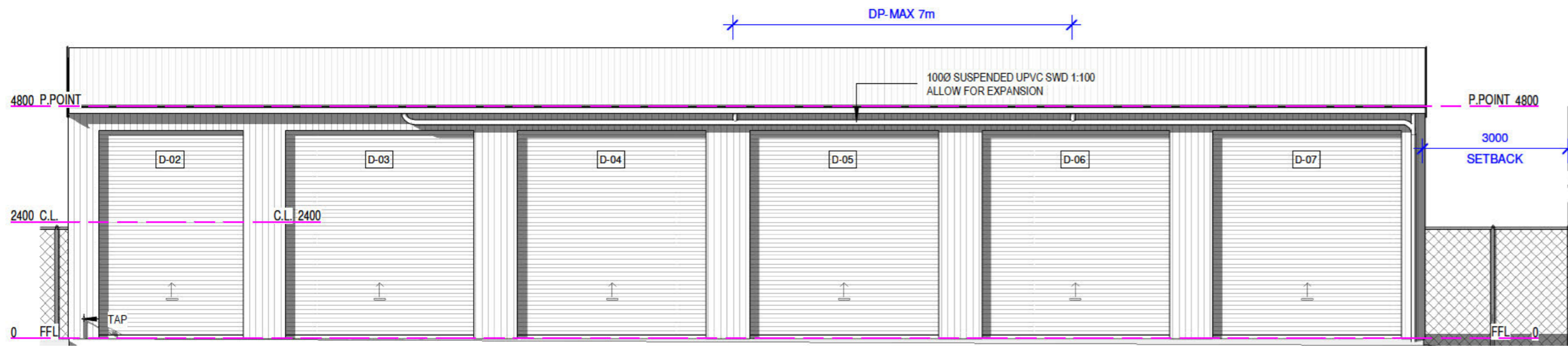
DISABLED PARKING  
1 : 100



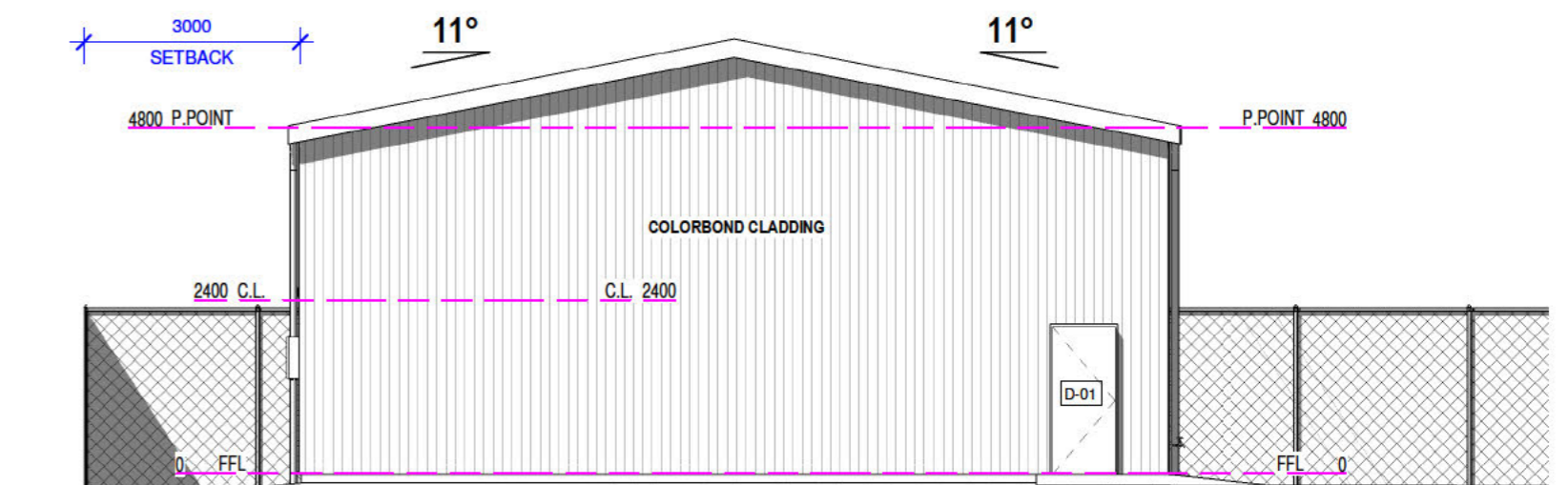
ROOF DRAINAGE CALCS		
ROOF AREA	345 M <sup>2</sup>	8 X 100mm D/PIPER
FIELDSERS FASCIA GUTTER	7071mm	SLOTTED
O/FLOW CAPACITY	0.5 L/s/m	TOTAL O/FLOW 3.5 L/s
D/PIPER 100mm PVC	8	44M <sup>2</sup> / D/PIPE
AEP PER 20 YRS (YARRAWONGA)	134mm/hr	FLOW 7.15 L/s



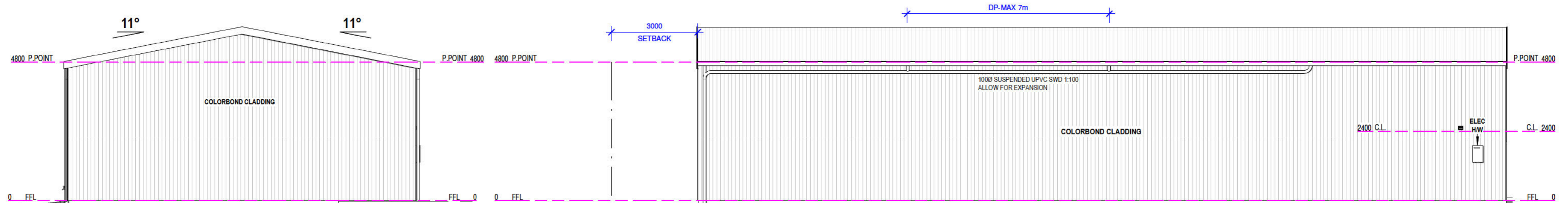
STEP RAMP DETAIL  
1 : 25



NORTH ELEVATION  
1 : 100



EAST ELEVATION  
1 : 100



WEST ELEVATION  
1 : 100

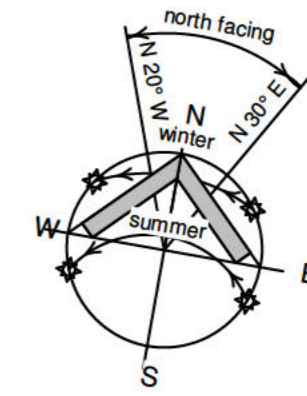
SOUTH ELEVATION  
1 : 100

	<p>12 ACACIA ST PO BOX 396 YARRAWONGA VIC 3730 PH: 03 5744 1111 ABN 48 095 457 503 Shane McBurnie 0419593592</p>	<p>Drafting by Richmond Design Group</p> <p>REGISTERED Building Practitioner</p> <p>DP-AD 39373</p>	<p>NOTE: DO NOT SCALE DRAWINGS ALL DIMENSIONS TO BE VARIFIED BY BUILDER ON SITE PRIOR TO ORDERING OF MATERIALS. ALL WORKS TO CONFORM TO NCC &amp; ALL RELEVANT STANDARDS</p>	<p>PROPOSED WAREHOUSE</p> <p>Client: D &amp; S PAY SUPERANNUATION FUND</p> <p>Address: 55-57 Defence Dr, Mulwala, NSW 2647</p>	<p>SHEET NAME: ELEVATIONS</p>	<p>REV: R1</p>	<p>DESCRIPTION: CONCEPT DRAWINGS</p>	<p>DATE: 29-03-24</p>	<p>Copyright of these drawings are the property of Stephen Richmond Building Design &amp; Consultancy. The drawings &amp; design may not be used or reproduced without the expressed approval of the designer.</p>
					<p>SHEET No: 03</p> <p>Date: 29/03/2024</p> <p>Project No: 10/24</p> <p>Drawn By: SAR</p>	<p>Scale: As Shown</p> <p>Rev: R2, R3, R4, R5</p>	<p>DESCRIPTION: PRELIM REVISION 01, PRELIM REVISION 02, PRELIM REVISION 03, DA/CC DRAWINGS</p>	<p>DATE: 04-04-24, 00-00-24, 00-00-24, 12-04-24</p>	



⊙	COMMERCIAL LED PENDANT LIGHT	⊙	SENSOR FLOOD LIGHT	▽	DOUBLE GPO	TP	TELEPHONE POINT	AC	INTERNAL SPLIT SYSTEM UNIT	→	RETURN AIR LOCATION	⊙	ELECTRIC HOT WATER SERVICE
⊙	LED DOWN LIGHT	⊙	MOTION SENSOR	▽	SINGLE GPO	▽	DOUBLE EXTERNAL GPO	+	CEILING FAN WITH LIGHT	↻	THERMOSTAT	⊗	EVAPORATIVE AIR CONDITIONER
—	DOUBLE FLUORESCENT GLOBE	⊙	EXHAUST FAN (DAMPER)	⊗	ISOLATION SWITCH	▽	SINGLE EXTERNAL GPO	+	CEILING FAN	→	GAS METER	⊗	RAINWATER TANK PUMP
—	SINGLE FLUORESCENT GLOBE	⊙	4 GLOBE IXL	⊙	SMOKE DETECTOR	+	A/C OUTLET	⊙	DUCTED HEATING OUTLET	M.BOX	ELECTRICITY METER	⊗	DUCTED VACUUM UNIT
—	EXTERNAL WALL LIGHT	⊙	EMERGENCY EXIT LIGHT	TV	TELEVISION POINT	+	EXTERNAL SPLIT SYSTEM UNIT	RA	RETURN AIR DUCT	HWS	GAS HOT WATER SERVICE	⊗	VACUUM OUTLET
		EM-L	EMERGENCY LIGHTING										

**NOTES:** MANHOLE LOCATION IS APPROXIMATE ONLY. EXACT POSITION WILL DEPEND ON TRUSS LAYOUT



## ELECTRICAL LEGEND

1 : 100

## ELECTRICAL FIXTURE SCHEDULE

DESCRIPTION	No
10 WATT LED DOWN LIGHT	2
COMMERCIAL LED PENDANT LIGHT	4
DOUBLE GPO	13
EMERGENCY LIGHT	1
EXIT SIGN	1
EXTERNAL SENSOR FLOOD LIGHT	1
SHUTTERED EXHAUST FAN	1
SUB BOARD	1

### GENERAL ELECTRICAL NOTES

ALL LIGHT POINTS WILL BE CENTRALLY LOCATED IN CEILINGS UNLESS SPECIFICALLY REQUESTED BY OTHERS - CONFIRM WITH OWNERS. THE POSITIONS OF DOWNLIGHTS WILL BE AS CLOSE AS POSSIBLE TO THE REQUESTED POSITION, HOWEVER IT IS SUBJECT TO THE POSITION OF ROOF TRUSSES AND OTHER INSTALLATIONS IN THE CEILING POINTS - CONFIRM WITH OWNER. WHERE REQUIRED, PROVIDE POWER FOR RANGEHOOD, HOT PLATES, DISHWASHER, WALLUNDER BENCH OVEN, MICROWAVE, REFRIGERATOR, EVAPORATIVE COOLING UNIT, HEATING UNIT, GARAGE DOOR & HOT WATER SERVICE.

### ARTIFICIAL LIGHTING

REFER TO NCC 2022 VOLUME ONE J7D1-J7D6

### EMERGENCY LIGHTING

REFER TO NCC 2022 VOLUME ONE PART E4 PERFORMANCE REQUIREMENTS E4P1-E4P3 VERIFICATION METHODS E4V1-E4V2 DTS PROVISIONS E4D1-E4D9

EVERY REQUIRED EMERGENCY LIGHTING SYSTEM MUST COMPLY WITH AS/NZS 2293.1.

### EXIT SIGNS

AN EXIT SIGN MUST BE CLEARLY VISIBLE TO PERSONS APPROACHING THE EXIT, AND MUST BE INSTALLED ON, ABOVE OR ADJACENT TO EACH—

- (A) DOOR PROVIDING DIRECT EGRESS FROM A STOREY TO—
- (I) AN ENCLOSED STAIRWAY, PASSAGEWAY OR RAMP SERVING AS A REQUIRED EXIT; AND
- (II) AN EXTERNAL STAIRWAY, PASSAGEWAY OR RAMP SERVING AS A REQUIRED EXIT; AND
- (III) AN EXTERNAL ACCESS BALCONY LEADING TO A REQUIRED EXIT; AND
- (B) DOOR FROM AN ENCLOSED STAIRWAY, PASSAGEWAY OR RAMP AT EVERY LEVEL OF DISCHARGE TO A ROAD OR OPEN SPACE; AND
- (C) HORIZONTAL EXIT; AND
- (D) DOOR SERVING AS, OR FORMING PART OF, A REQUIRED EXIT IN A STOREY REQUIRED TO BE PROVIDED WITH EMERGENCY LIGHTING IN ACCORDANCE WITH E4D2.

### DIRECTION SIGNS

IF AN EXIT IS NOT READILY APPARENT TO PERSONS OCCUPYING OR VISITING THE BUILDING THEN EXIT SIGNS MUST BE INSTALLED IN APPROPRIATE POSITIONS IN CORRIDORS, HALLWAYS, LOBBIES, AND THE LIKE, INDICATING THE DIRECTION TO A REQUIRED EXIT.

### DESIGN AND OPERATION OF EXIT SIGNS

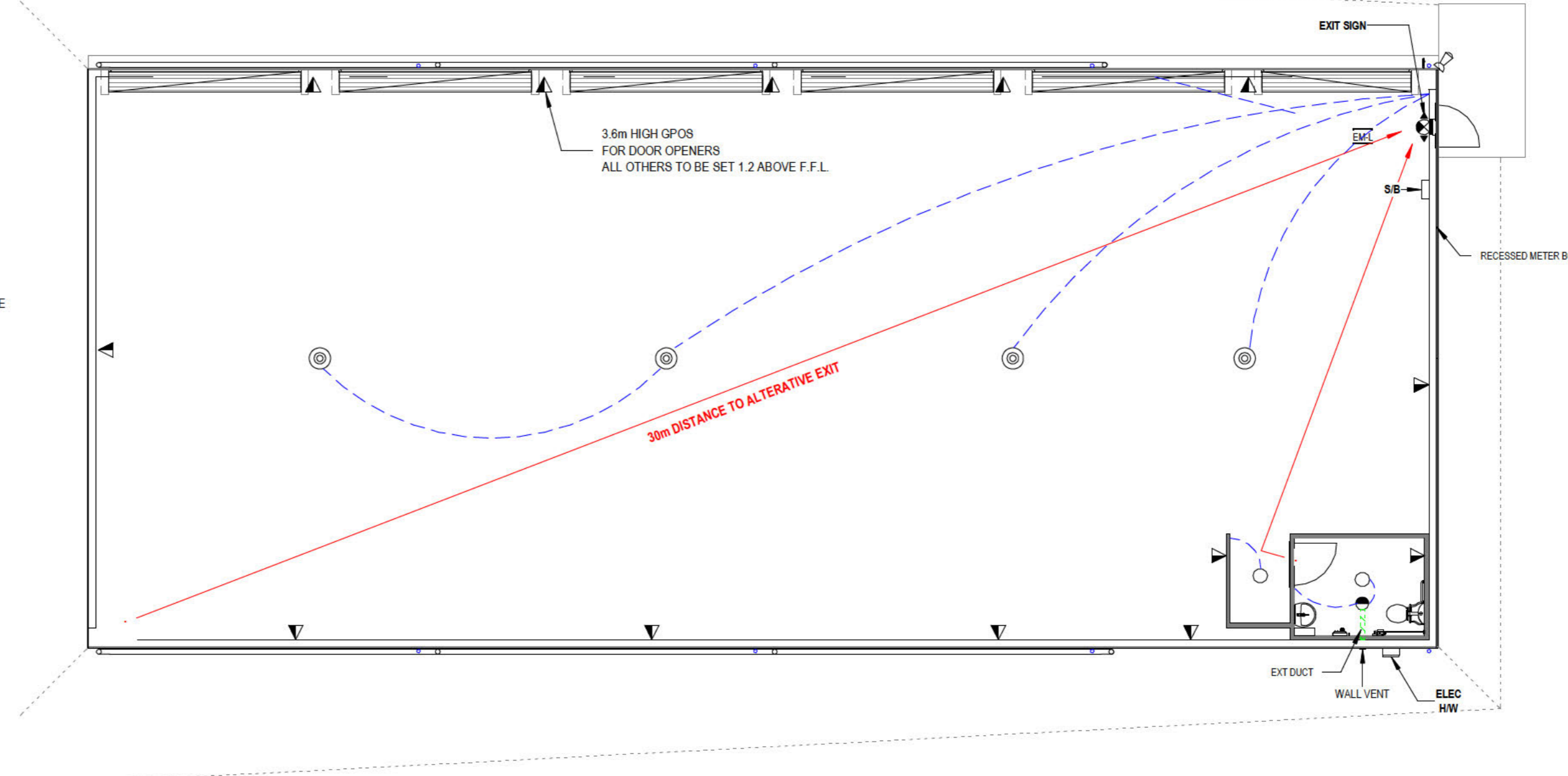
EVERY REQUIRED EXIT SIGN MUST—

- (A) COMPLY WITH—
- (I) AS/NZS 2293.1; OR
- (II) FOR A PHOTOLUMINESCENT EXIT SIGN, SPECIFICATION 25; AND
- (B) BE CLEARLY VISIBLE AT ALL TIMES WHEN THE BUILDING IS OCCUPIED BY ANY PERSON HAVING THE RIGHT OF LEGAL ENTRY TO THE BUILDING.

### EXHAUST SYSTEMS

NCC 2022 VOLUME ONE F8D4

- (1) AN EXHAUST SYSTEM INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF—
  - (A) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
  - (B) 40 L/S FOR A KITCHEN OR LAUNDRY.
  - (2) EXHAUST FROM A KITCHEN, KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST DISCHARGE DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR.
  - (3) WHERE SPACE FOR A CLOTHES DRYING APPLIANCE IS PROVIDED IN ACCORDANCE WITH F4D2(1)(B), SPACE MUST ALSO BE PROVIDED FOR DUCTING FROM THE CLOTHES DRYING APPLIANCE TO OUTDOOR AIR.
  - (4) (3) DOES NOT APPLY IF A CONDENSING-TYPE CLOTHES DRYING APPLIANCE IS INSTALLED.
  - (5) AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH F8D7 MUST—
  - (A) BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND
  - (B) INCLUDE A RUN-ON TIMER SO THAT THE EXHAUST SYSTEM CONTINUES TO OPERATE FOR 10 MINUTES AFTER THE LIGHT SWITCH IS TURNED OFF.
  - (6) EXCEPT FOR ROOMS THAT ARE VENTILATED IN ACCORDANCE WITH F8D7, A ROOM WITH SPACE FOR DUCTING A CLOTHES DRYING APPLIANCE TO OUTDOOR AIR IN ACCORDANCE WITH (3) MUST BE PROVIDED WITH MAKE-UP AIR IN ACCORDANCE WITH AS 1868.2:2012
- ALL MECHANICAL EXHAUSTS SHALL BE FITTED WITH SELF-CLOSING LOUVRED REGISTER WHERE EXITING THE BUILDING.



## ELEC/LIGHTING PLAN

1 : 100

## FIRE

1 : 20



FIRE EXTINGUISHER TO BE PLACED NO MORE THAN 20M APART  
TYPE: 4.5KG ABE  
- CLASS A FIRES – COMBUSTIBLE MATERIALS: CAUSED BY FLAMMABLE SOLIDS, SUCH AS WOOD, PAPER, AND FABRIC  
- CLASS B FIRES – FLAMMABLE LIQUIDS: SUCH AS PETROL, TURPENTINE OR PAINT  
NOTE: DRY CHEMICAL POWDER ABE EXTINGUISHER  
INSTALLED IN ACCORDANCE WITH SECTION 3 OF AS 2444.  
FIRE EXTINGUISHERS SHOULD BE MOUNTED NO MORE THAN 1,200 MM, FROM THE FLOOR.  
LOCATION SIGN INSTALLED ABOVE THE EXTINGUISHER NOT LESS THAN 2 M ABOVE THE FLOOR,  
OR AT A HEIGHT THAT ENSURES THE SIGN IS VISIBLE  
LOCATION AND DISPLAY OF SIGN MIN - 2000MM ABOVE FLOOR LEVEL.  
A MINIMUM OF ONE SIGN MUST BE PROVIDED ABOVE OR ADJACENT TO AN EXTINGUISHER  
THE EXTINGUISHER AND FIRE POINT LOCATION SIGNS SHALL HAVE A SYMBOL, BORDER AND LETTERS  
IN WHITE ON A RED FIELD, COMPLYING WITH AUSTRALIAN STANDARD (AS) 2700:2011.



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Shane McBurnie  
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Drafting by  
**Richmond Design Group**  
REGISTERED  
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DP-AD 39373

NOTE:  
DO NOT SCALE DRAWINGS  
ALL DIMENSIONS TO BE  
VARIFIED BY BUILDER  
ON SITE PRIOR TO  
ORDERING OF MATERIALS.  
ALL WORKS TO CONFORM  
TO NCC & ALL  
RELEVANT STANDARDS

### PROPOSED WAREHOUSE

Client: D & S PAY SUPERANNUATION FUND  
Address:  
55-57 Defence Dr, Mulwala, NSW 2647

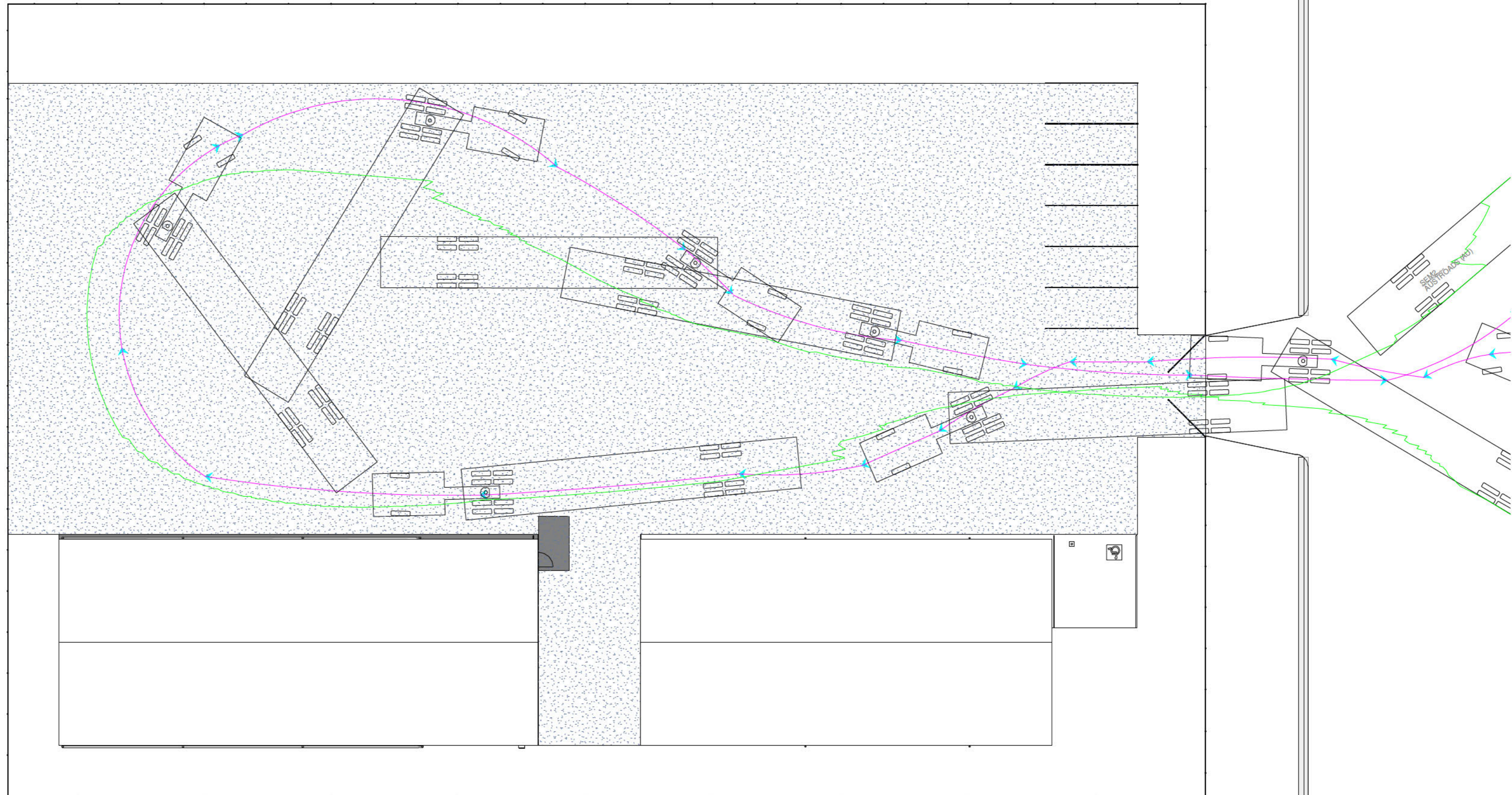
SHEET NAME:

### ELEC/LIGHTING PLAN

SHEET No: 04 Scale: As Shown  
Date: 29/03/2024  
Project No: 10/24  
Drawn By: SAR Chk: SAR

REV:	DESCRIPTION	DATE
R1	CONCEPT DRAWINGS	29-03-24
R2	PRELIM' REVISION 01	04-04-24
R3	PRELIM' REVISION 02	00-00-24
R4	PRELIM' REVISION 03	00-00-24
R5	DA/CC DRAWINGS	12-04-24

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A1 SHEET SIZE



**3600 STD (1-3600 TO 800 SCA)**

Property front  
Expansion joint 10mm  
Construction Joint  
R10 Dowels  
Footpath section to be replaced as per SD01  
Expansion joint 10mm (filled with expansion material & sealant)  
Expansion joint 10mm  
DRIVEWAY LAYBACK  
KERB & CHANNEL  
4800 STD (1-4800 TO 9200 SCA)  
Saw Cut  
R10 dowels @ 500 cts, min. 300mm long

**Residential**

Sealant to F.S.L.  
30mm cover  
250mm C/C #10 dowels - 300mm long  
Expansion joint 10mm (filled with expansion material & sealant)

**Detail A**  
**Footpath-Residential Crossing**

Compressible filler to be 7mm below F.S.L.  
30mm cover  
Property line  
Footpath as per detail 'A'  
Grade 1:7.5 (1:3.3%)  
25mm Step (Bull Nose)  
MAX 2%  
MAX 4%  
Road Leveling

**Elevation (Normal Grade)**

30mm Step (Bull Nose)  
Saw Cut  
R10 dowels @ 500 cts, min. 300mm long  
50mm Sand Bedding  
50mm F.C.R. Compacted

**Detail**

**NOTES**

1. Road opening permit shall be obtained from Federation Council prior to commencing works.
2. Vehicle crossings (driveway/footpath) shall be square to the road, otherwise alignment is to be approved by council prior to commencement of works.
3. All vehicle crossings shall be inspected by council representative after formwork & mesh are in place and prior to pouring concrete.
4. Light industrial & commercial crossings to be 175mm thick, 30MPa concrete with two layers of S172 mesh.
5. SCA - indicates 'subject to council approval'.
6. Contractor to ensure pedestrian safety is addressed during works.
7. Contractor to ensure 'dial before you dig' information is obtained & services are identified.
8. All measurements are in millimetres.
9. Concrete paths as per standard drawing - SD01.
10. Driveways to be in from all existing services & infrastructure unless otherwise consulted with council.

LAST UPDATED: 07/12/18

FILE PATH: \\S:\Design\Richmond-Federation Council\Industrial-Commercial\Drawings\SD409 - Concrete Layback Driveway

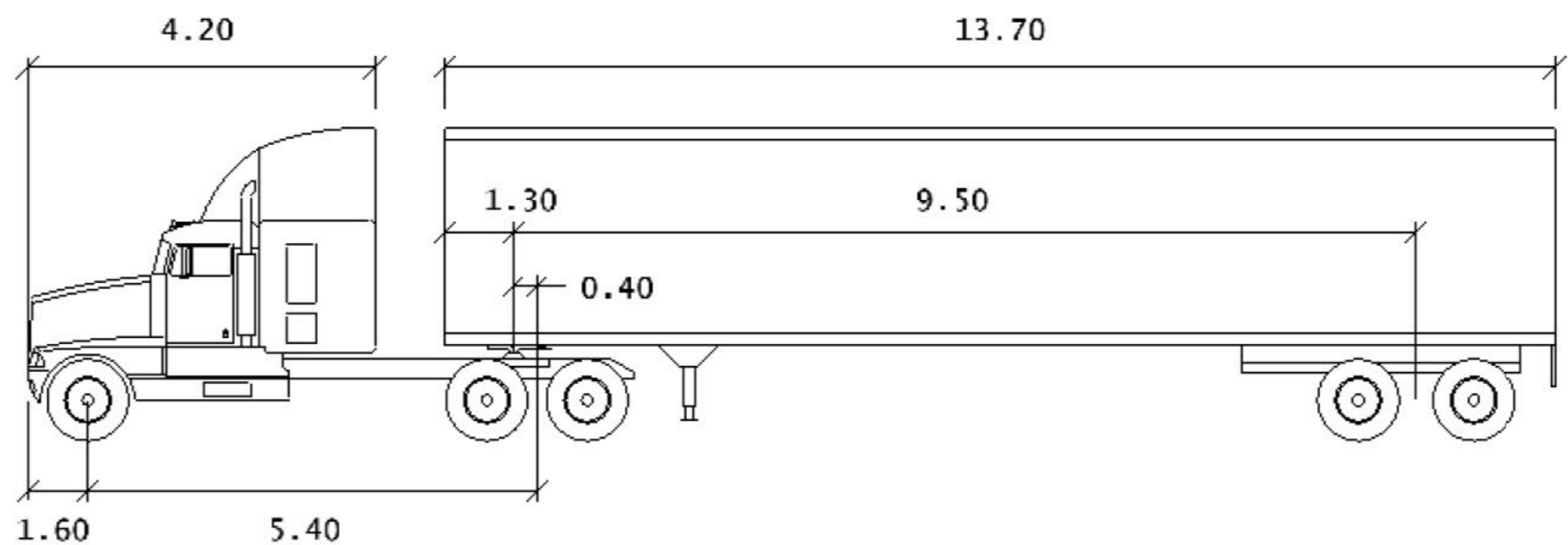
**FEDERATION COUNCIL** Standard Drawing

**CONCRETE LAYBACK DRIVEWAY**  
INDUSTRIAL & COMMERCIAL

**SD409**

REV: A

**TRUCK TURNING ARC**  
1 : 200  
Select Current Vehicle  
Australia : AUSTRROADS (AU) : SEM1  
Units : Meters



**McBURNIE GROUP P/L**

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Drafting by  
**Richmond Design Group**

REGISTERED  
Building Practitioner

DP-AD 39373

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ORDERING OF MATERIALS.  
ALL WORKS TO CONFORM  
TO NCC & ALL  
RELEVANT STANDARDS

**PROPOSED WAREHOUSE**  
Client: D & S PAY SUPERANNUATION FUND  
Address:  
55-57 Defence Dr, Mulwala, NSW 2647

SHEET NAME:		REV:	DESCRIPTION	DATE
<b>TURNING-DRIVEWAY</b>		R1	CONCEPT DRAWINGS	29-03-24
SHEET No: 05	Scale: As Shown	R2	PRELIM' REVISION 01	04-04-24
Date: 29/03/2024		R3	PRELIM' REVISION 02	00-00-24
Project No: 10/24		R4	PRELIM' REVISION 03	00-00-24
Drawn By: SAR	Chk: SAR	R5	DA/CC DRAWINGS	12-04-24

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A1 SHEET SIZE

### 1. Applicant Details

Applicant Name	MCBURNIE GROUP PTY LTD t/a FAIR DINKUM BUILDS YARRAWONGA		
Postal Address <i>Your reply will be posted to this address</i>	[REDACTED]		
Phone	[REDACTED]	Email	[REDACTED]

### 2. Property Details (of the site to be developed)

Street Number	55-57	Street	DEFENCE DRIVE
Town	MULWALA NSW 2647	Site Area m <sup>2</sup>	3,247m <sup>2</sup>
Lot/DPs numbers	LOT 41 DP1257361		

### 3. Proposal details

Describe your proposal in detail, including:

- the physical description of building and any proposed buildings
- dimensions of building including height, proposed materials, nominated colour scheme, nature of use
- signage, disabled access and facilities, driveway access points, parking

The lot currently contains a 24m (L) x 12m(W) (288m<sup>2</sup>) shed, constructed by us in 2023. We propose the erection of a 336m<sup>2</sup>, Class 7B engineered shed on the lot. The shed dimensions are: 28m (L), 12m (W), 4.8m (H) with an 11deg Gable Roof to a maximum apex height of 5.97m. The building will be a c-section purlin, Colorbond cladded shed. The color of the shed will be Colorbond® BASALT. The shed will primarily be used as a storage facility for the customer. There is no proposed signage at this point in time. Please refer to the site plans of the development to review the disabled access & facilities, driveway access points & parking.

4. Site details	
What is the area of the site?	2,247m <sup>2</sup>
What is the land zone?	E4
Describe the site - Provide information on physical features of the site such as shape, slope, vegetation, waterways, access, existing services/infrastructure	
<p>The land currently contains a 288m<sup>2</sup> shed, constructed by us, in 2023.            A perimeter fence encloses the entirety of the land.            There is nil viable vegetation on the property at present.            The development, per the attached development plans/drafting, include the addition of neat vegetation for the property, for optical streetscape appeal, whilst at the same time, minimising silt and debris that may be currently running into the swale drain at the rear of the property.</p>	
Describe the use of lands adjoining the site. Will the proposal impact on adjoining property? Consider issues such as noise, privacy, overland flows of storm water and other amenity impacts.	
<p>Due to the land zoning, all adjoining properties are similar in nature. There is nil expected impact on adjoining properties. Due to the slope of the lot, approx. 400mm from front to rear, there should be nil notable impact of overland flows of stormwater to adjoining lots.</p>	

5. Present and Previous Uses	
What is the present use of the site and when did this use commence? Did this use receive development consent?	
<p>The property, since 2023, has contained on it, a 288m<sup>2</sup> shed, used primarily for business storage purposes. Development Consent was acquired for this development.</p>	
List the previous use(s) of the site	
<p>Vacant until 2023.            From 2023 until now, since the construction of the existing shed, the property has primarily been used as a means of storing business related, and personal affects.</p>	
Are you relying on existing use rights?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Have any potentially contaminating activities been undertaken on the property?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, please identify:	

6. Existing Structures	
List existing structures on the land	
<p>There is an existing 288m<sup>2</sup> shed located on the property.</p>	
List any structures to be demolished as part of the proposal	
<p>The existing shed will remain. The proposed development will become the second structure located on the property.</p>	

7. Subdivision	
Do you propose to subdivide?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
How many existing lots?	
How many proposed lots?	

8. Planning Policies / Controls			
Does the proposal <u>seek a variation</u> to the provisions contained in the following controls?	Yes	No	N/A
Deniliquin LEP 2013	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Conargo LEP 2013	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Deniliquin DCP 2016	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Corowa LEP 2012	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other relevant SEPP / EPI Standards	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9. Context and Setting			
	Yes	No	N/A
Will the Development be visually prominent in the surrounding area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Will the Development be consistent with the existing streetscape or Council Policy?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Will the development be out of character with the surrounding area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>The development will not appear out of character to the area, visually.            The development is identical to the building located at 55-57 Defence Drive Mulwala, albeit in a different location on the property. This development, due to the proposed use of land in terms of additional vegetation, will be an improvement on the area's existing developments.</p>			

10. Access and Traffic			
	Yes	No	N/A
Is legal and practical access available to the site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are additional access points to road network required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Has vehicle manoeuvring and onsite parking been addressed in the design?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Will the development increase local traffic movements/volumes?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, please specify how much:			

11. Utilities and Services
<b>Water supply</b> - Please provide details of existing and any proposed arrangements
To be connected in unison with existing shed.
<b>Sewer</b> - Please provide details of existing and any proposed arrangements
To be connected to existing services.
<b>Storm Water connection / disposal</b> - Please provide details of existing and any proposed arrangements
The storm water point has been identified in the site plan and development map, included in the application.
<b>Septic Tank / Effluent disposal</b> - Please provide details of existing and any proposed arrangements

Other

## 12. Threatened Species and Biodiversity Considerations

Is the land identified as a critical habitat or as part of a critical habitat?  Yes  No

If yes, you need to submit a Species Impact Statement to accompany your application

Is the development likely to significantly affect threatened species populations or ecological communities or their habitat?  Yes  No

If yes, you need to submit a Species Impact Statement to accompany your application

Does the proposal include land clearing of native vegetation?  Yes  No

If no, proceed to Section 13

Does your proposal require land clearing of vegetation within an area identified on the Biodiversity Values Map as defined under the Biodiversity Conservation Regulation 2017?  Yes  No

Does your proposal exceed the Biodiversity Offset Scheme Thresholds in accordance with part 7.4 of the Biodiversity Conservation Act 2016?  Yes  No

If yes to EITHER of the above 2 questions, please attach a Biodiversity Development Assessment Report (BDAR) in accordance with part 6.12 of the Biodiversity Conservation Act 2016

If no to BOTH of the above 2 questions, please attach a "test of significance" also known as the 5 part test, in accordance with section 7.3 of the Biodiversity Conservation Act 2016

## 13. Environmental Impacts

Is your proposal likely to result in air, noise or water pollution? (Including during construction works)  Yes  No

If yes, please describe the source of pollution and what measures will be implemented to control pollution

Air (Dust, Odour)	There should be limited/nil air/dust pollution as a result of the development. The development will consist of grass coverage for non-vehicle access areas, and a layer of 150mm Road Base internal hard surface driveway.
Noise	Due to the nature of use of the development, minimal/nil additional noise pollution is expected.
Water	There is a chance of minimal contamination to the swale drain potentially caused by rain, which, taking into account the slope of the block, may result in the carrying of dirt/dust/silt into the drain. It is a consideration, as part of the development, to add a grass apron to the rear of the property, at the adjoining driveway, as a buffer point between the driveway and the drain, as an additional preventative measure.

Is the development likely to result in any form of sediment run-off?  Yes  No

Please refer to above comments.

Is the land flood prone?  Yes  No

If yes, describe the proposed finished floor levels of habitable rooms

Is the land classed as bushfire prone?  Yes  No

If yes, and if your proposal is for the construction of a dwelling or dwelling additions/alteration, you will need to undertake BAL Risk Assessment in accordance with NSW RFS Planning requirements and provide to Council. If you determine your development is a higher risk BAL 40 or BAL FZ, you will need to consult with a Bushfire consultant to assist further.



## 16. Operational and Management Details

### NOTE

This section does not relate to residential development and is generally only applicable to commercial, industrial, rural industrial or tourism developments

Describe in detail the proposed business/activity			
The shed will be used as a storage facility of the joint tenants per the property title, as well as the storage of business affects of A1 Windscreens.			
Hours of operation			
Monday to Friday	AM	to	PM
Saturday	AM	to	PM
Sunday	AM	to	PM
Extended hours	AM	to	PM
Total number of staff members	0-5		
Maximum number of staff members on duty at any one time	0-2		
Maximum number of clients/customers expected in a day	N/A – Due to intended use as storage facility		
Maximum number of clients/customers expected at any one time	N/A – Due to intended use as storage facility		
Expected vehicle types associated with the proposal	As part of the plan, the attendance of a b-double truck has been considered, however primarily, personal vehicles will be accessing the lot		
Number of car parking spaces provided	Refer to plans		
Location of car parking spaces provided	Refer to plans		
Describe arrangements transport, loading, and unloading of goods (including expected frequency of deliveries, size of vehicles and frequency of truck movements)			
There will be limited access of larger vehicles on site. The nature of the development, being a storage facility, will result in minimal traffic access. Albeit however, the vehicles accessing the property may be a personal vehicle, daily, and a truck, weekly, at most			
List machinery associated with the proposed business / activity			
List the type and quantity of raw materials, finished products and waste materials			
Describe how waste will be disposed			
Waste of the development will be removed from the property and disposed of based on the disposal requirements of the materials. E.g. steel, will be transported back to McBurnie Group for proper disposal and recycling.			



Identify any processes or materials that may be potentially hazardous and identify management