

**Applicant contact details**

Title	Mr
First given name	brett
Other given name/s	
Family name	forge
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

**Owner/s of the development site**

Owner/s of the development site	I am the only owner of the development site
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**Site access details**

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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**Developer details**

ABN	16 271 616 225
ACN	
Name	B FORGE & N FORGE
Trading name	B FORGE & N FORGE
Address	[REDACTED]
Email Address	[REDACTED]

**Development details**

Application type	Development Application
Site address #	1
Street address	291-311 ENFIELD STREET COROWA 2646
Local government area	FEDERATION
Lot / Section Number / Plan	220/-/DP753734 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	<p>Land Application LEP Corowa Local Environmental Plan 2012</p> <p>Land Zoning RU1: Primary Production</p> <p>Height of Building NA</p> <p>Floor Space Ratio (n:1) NA</p> <p>Minimum Lot Size 250 ha</p> <p>Heritage NA</p>

Land Reservation Acquisition  
 NA  
 Foreshore Building Line  
 NA  
 Terrestrial Biodiversity  
 Biodiversity

**Proposed development**

Selected common application types	Erection of a new structure
Selected development types	Storage premises
Description of development	New single story shed, metal frame , metal clad sheeting to roof and walls, with a concrete footings
Provide the proposed hours of operation	
Proposed to operate 24 hours on Monday	Yes
Monday	12:00 AM - 11:59 PM
Proposed to operate 24 hours on Tuesday	Yes
Tuesday	12:00 AM - 11:59 PM
Proposed to operate 24 hours on Wednesday	Yes
Wednesday	12:00 AM - 11:59 PM
Proposed to operate 24 hours on Thursday	Yes
Thursday	12:00 AM - 11:59 PM
Proposed to operate 24 hours on Friday	Yes
Friday	12:00 AM - 11:59 PM
Proposed to operate 24 hours on Saturday	Yes
Saturday	12:00 AM - 11:59 PM
Proposed to operate 24 hours on Sunday	Yes
Sunday	12:00 AM - 11:59 PM
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	0
Existing gross floor area (m2)	450
Proposed gross floor area (m2)	450
Total site area (m2)	119,300
Total net lettable area (m2)	450
What is the estimated development cost, including GST?	\$135,000.00
Estimated development cost	\$135,000.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of additional jobs that are proposed to be generated through the operation of the development	0
Number of staff/employees on the site	0

**Number of parking spaces**

Category of development	Car parking spaces	Motorcycle spaces	Bicycle spaces
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Other for example rural/extractive industry	1	0	0
Total	1	0	0

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

#### Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	Yes
Have you already applied for approval under s68 of the Local Government Act?	No
Would you like to apply for approval under s68 of the Local Government Act?	Yes
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	

Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

### Sustainable Buildings

Is the development exempt from the <a href="#">State Environmental Policy (Sustainable Buildings) 2022</a> Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	An alteration or addition with an Estimated Development Cost under \$10 million, or a new development with an Estimated Development Cost under \$5 million

### Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	brett
Other given name(s)	
Family name	forge
Contact number	██████████
Email address	██████████
Billing address	████████████████████

### Application documents

The following documents support the application.

Document type	Document file name
Cost estimate report	Costs
Elevations and sections	Shed Plans
Floor plans	Shed Plans
Geotechnical report	Soil Test
Owner's consent	Application
Preliminary Engineering Drawings	Shed Plans
Site Plans	Shed Plans 220 Endfield - V2
Statement of environmental effects	Environmental Effects
Stormwater drainage plan	Stormwater
Title Documentation / Certificate of Title	Title Search

### Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
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I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

# 291 - 311 ENDFIELD ST SOUTH COROWA PROPOSED MACHINERY SHED

## NEW AND EXISTING CONDITIONS GENERAL NOTES:

- ALL DIMENSIONS AND MEASUREMENTS SHOWN ARE NOMINAL ONLY.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL MEASUREMENTS AND LEVELS ON SITE AND ADJUST ACCORDINGLY TO SUIT THE INTENDED DESIGN.
- DO NOT SCALE FROM DRAWINGS.
- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA, NCC.
- CONTRACTORS SHALL LOCATE ALL SITE SERVICES PRIOR TO ANY SITE WORKS, DIAL BEFORE YOU DIG.
- ALL PLUMBING AND DRAINAGE SHALL COMPLY WITH AS3500 AND LOCAL AUTHORITY REGULATIONS.
- ALL TIMBER FRAMED CONSTRUCTION SHALL COMPLY WITH AS1684
- STEEL STRUCTURES TO AS4100, COLD FORMED STEEL STRUCTURES TO AS4600
- ALL ELECTRICAL SHALL COMPLY WITH AS3000 AND LOCAL AUTHORITY REGULATIONS.
- TERMITE TREATMENT SHALL COMPLY WITH BCA PART 3.1.4

## GENERAL SCOPE OF WORKS:

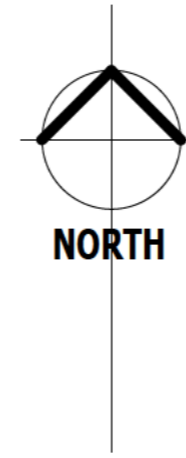
1. THE OWNER PROPOSES TO CONSTRUCT A 30m LONG x 15m WIDE MACHINERY SHED.
2. THE OWNER REQUIRES SECURE STORAGE FOR TRUCK, TRACTOR AND BOB CAT / EARTH MOVING MACHINERY.
3. THE STRUCTURE SHALL CONSIST OF STRUCTURAL "C" PURLIN STEEL FRAMING w/ COLORBOND EXTERNAL CLADDING AND COLORBOND SECURITY ROLLER DOORS + ONE PA SECURITY DOOR.
4. STORMWATER & FLOOD MITIGATION - THE STRUCTURE SHALL BE PLACED ON A COMPACTED BUILDING PAD, 300mm THICK TO ENGINEERS SPECIFICATIONS.
5. REFER TO ENGINEERS DRAWINGS AND SPECIFICATIONS FOR FURTHER DETAILS.
6. THE OWNER SHALL INSTALL A MINIMUM 50,000 LITRE CAPACITY WATER TANK FOR ON SITE STORMWATER MANAGEMENT AND FIRE FIGHTING MANAGEMENT.

## SITE ANALYSIS

BUILDING ZONE	RU1 - PRIMARY PRODUCTION
BUILDING CLASSIFICATION	CLASS 10a
TOTAL SITE AREA	11.93 HA - 119,300 m <sup>2</sup>
LANDSCAPED AREA	NA
SHED FLOOR AREA	450 m <sup>2</sup>

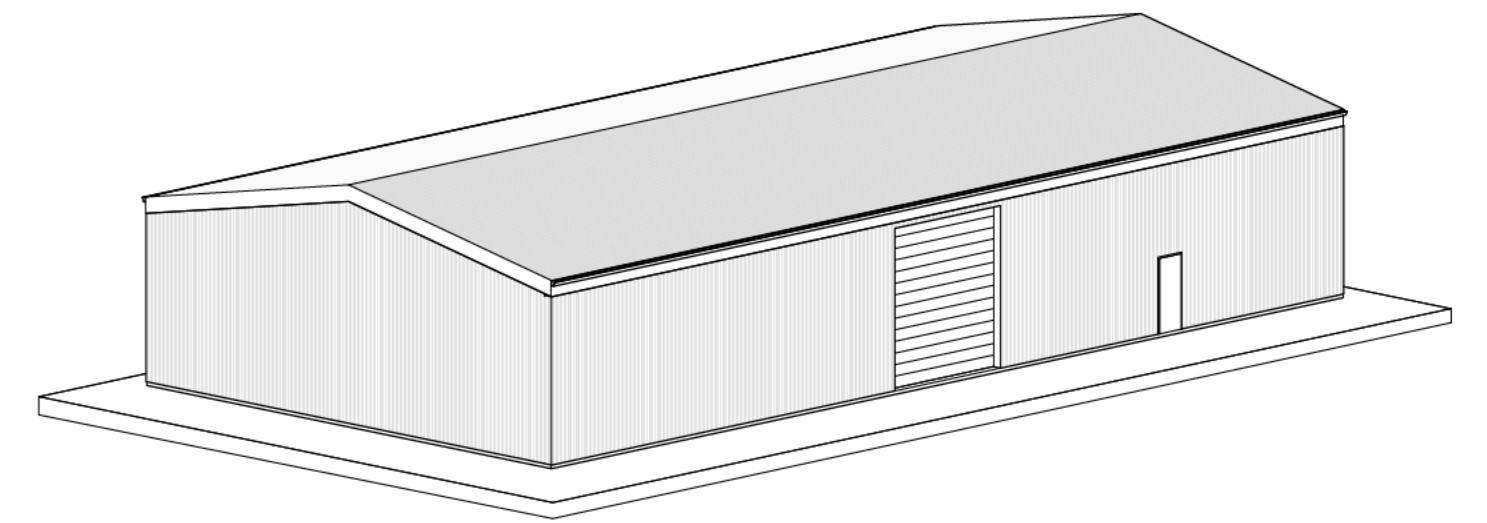
SHEET LIST	
SHEET NUMBER	SHEET NAME
A101	TITLE SHEET
A102	SITE PLAN
A103	FLOOR PLAN
A104	EXTERNAL ELEVATIONS
A105	EXTERNAL ELEVATIONS

ROOM SCHEDULE				
Name	Area	Perimeter	Floor Finish	Wall Finish
MACHINERY SHED	425.99 m <sup>2</sup>	87.84	COMPACTED GRAVEL	COLORBOND CLADDING
Grand total: 1	425.99 m <sup>2</sup>	87.84		



LOCATION PLAN

1 : 3000



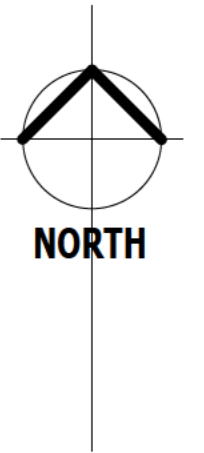
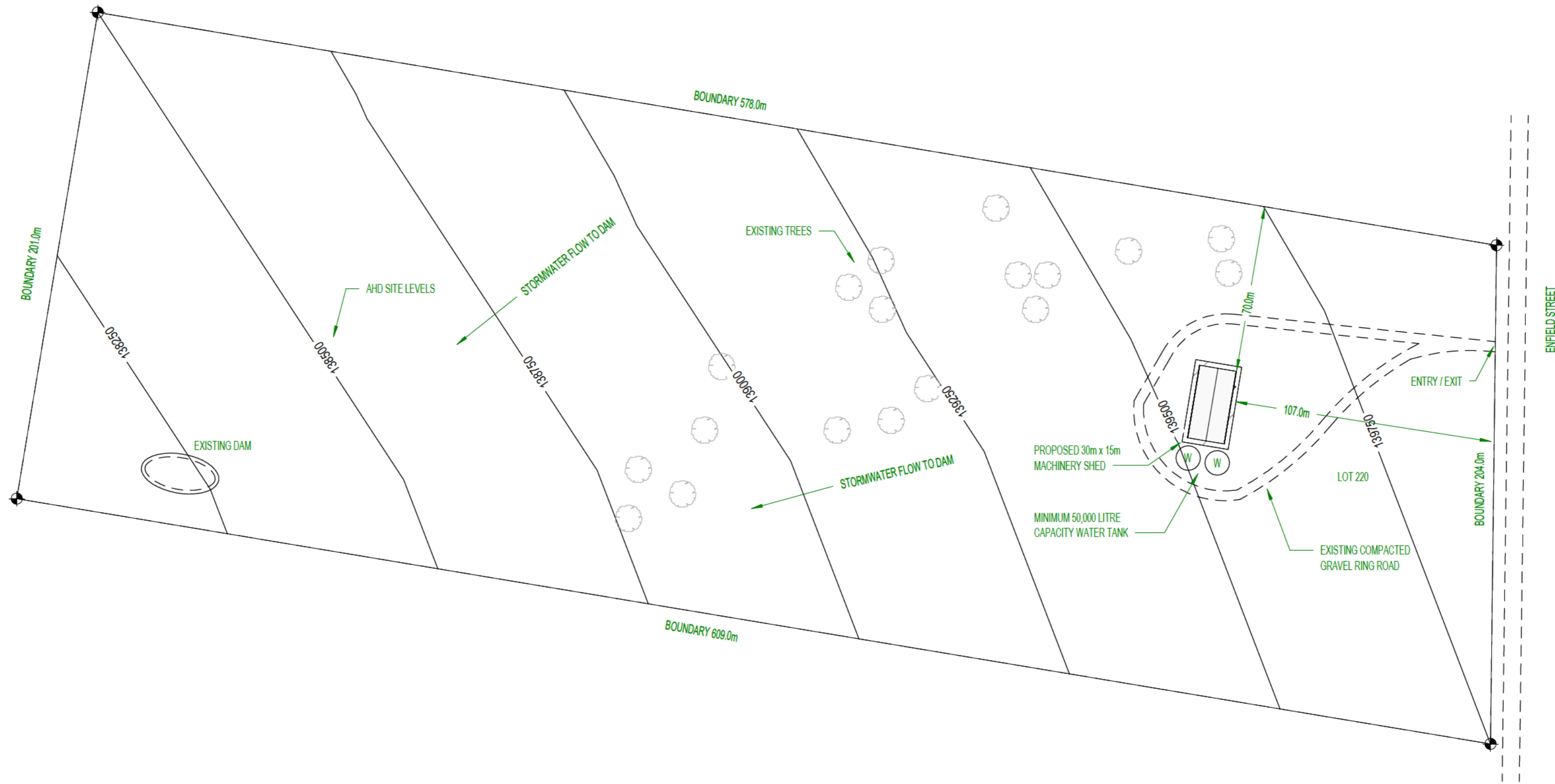
CONCEPT MODEL

**ISKO**  
Building & Design  
isko777@gmail.com  
PO Box 280 COROWA 2646  
0404 087 083

REGION COROWA  
LOCATION 291 - 311 ENDFIELD ST SOUTH COROWA  
PROJECT NAME PROPOSED MACHINERY SHED  
DRAWING TITLE SHEET

LOT No. 220	DP No. 753734	SHEET No. A101	OF 5	DRAWING No.	AMEND. 0	SHEET SIZE A2
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V2	CONSTRUCTION ISSUE	SO	10.1.25	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				



SITE PLAN

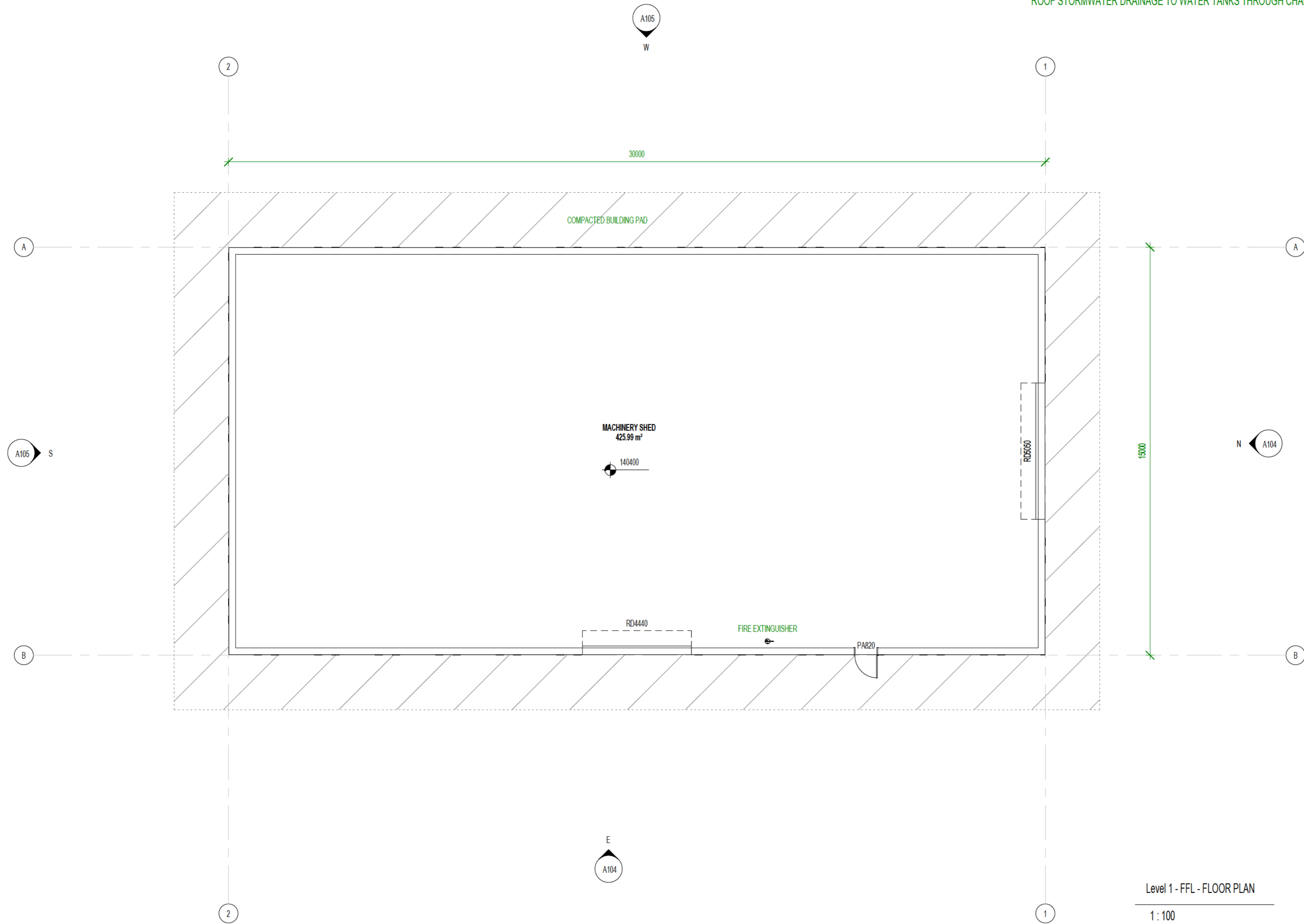
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V2	CONSTRUCTION ISSUE	SO	10.1.25	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				

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REGION	COROWA				
LOCATION	291 - 311 ENDFIELD ST SOUTH COROWA				
PROJECT NAME	PROPOSED MACHINERY SHED				
DRAWING	SITE PLAN				
LOT No.	DP No.	SHEET No.	OF	5	DRAWING No.
220	753734	A102			AMEND. 0
					SHEET SIZE A2

ROOF STORMWATER DRAINAGE TO WATER TANKS THROUGH CHARGED 90mm UPVC PIPELINE.



Level 1 - FFL - FLOOR PLAN

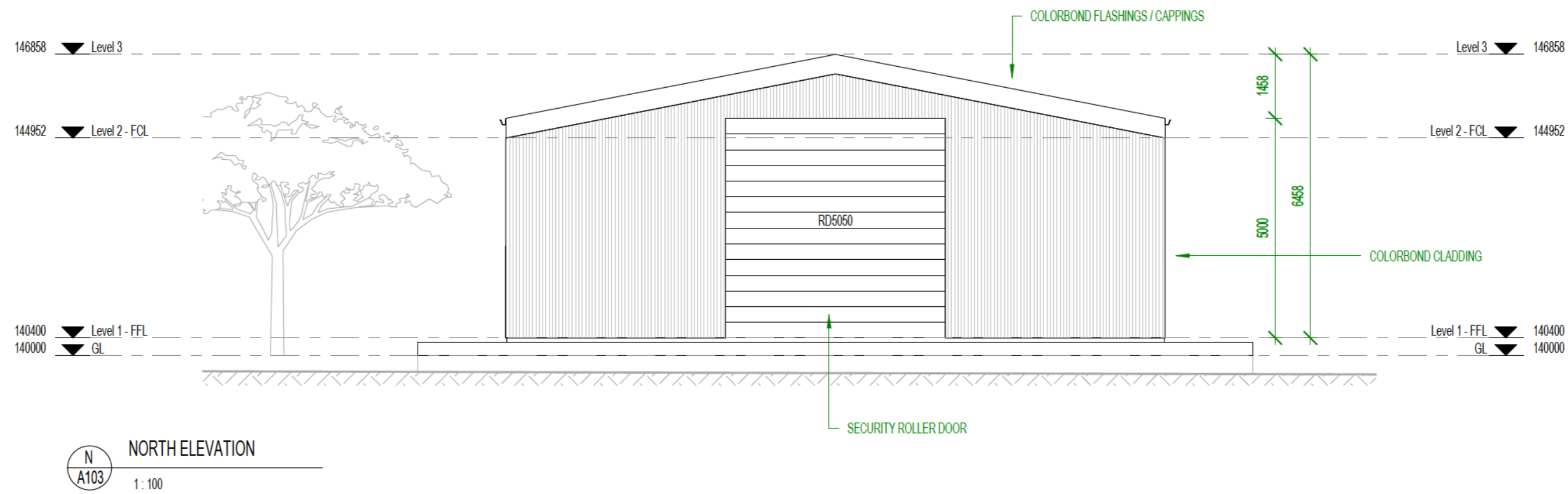
1 : 100

V2	CONSTRUCTION ISSUE	SO	10.1.25	ISKO
No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
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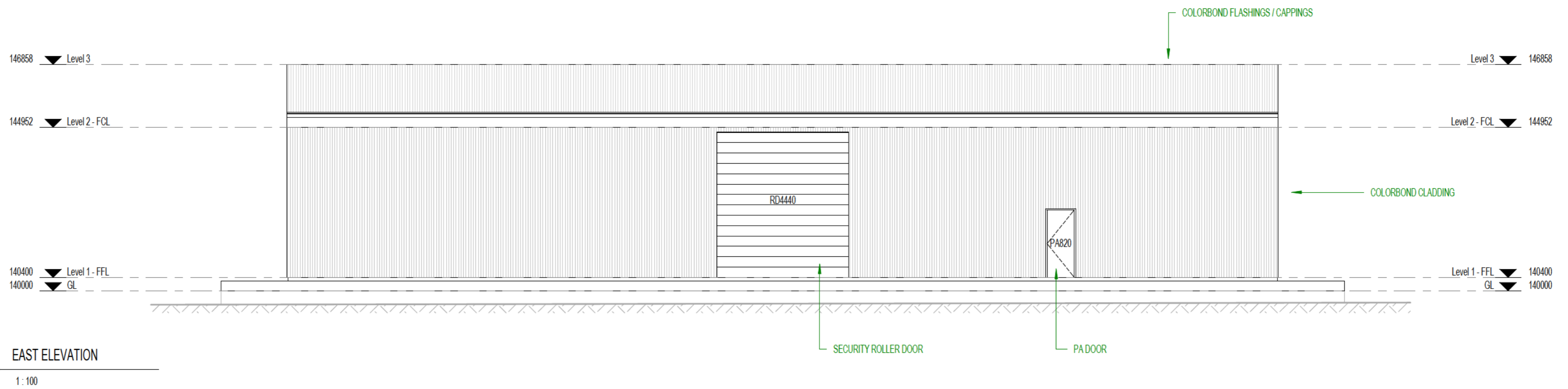
REGION	COROWA				
LOCATION	291 - 311 ENDFIELD ST SOUTH COROWA				
PROJECT NAME	PROPOSED MACHINERY SHED				
DRAWING	FLOOR PLAN				
LOT No.	DP No.	SHEET No.	OF	DRAWING No.	AMEND.
220	753734	A103	5		0
					SHEET SIZE
					A2





**COLOUR SCHEDULE:**

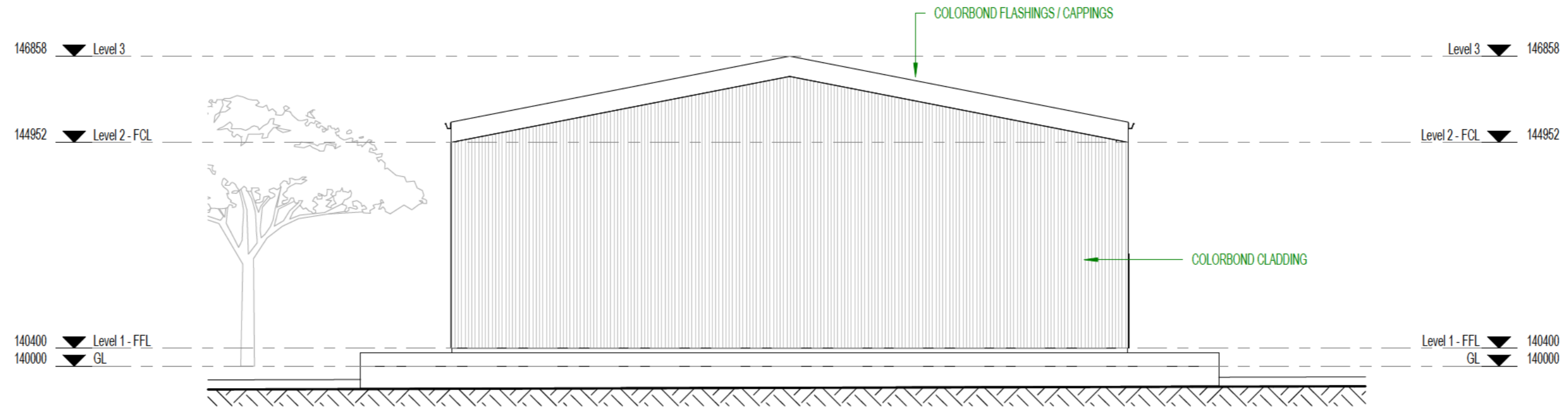
ROOF SHEETS:	SLATE GREY
EXTERNAL WALL SHEETS:	SLATE GREY
ROLLER DOORS:	SLATE GREY
FLASHINGS:	SLATE GREY
PA DOORS:	SLATE GREY
WINDOWS:	NA



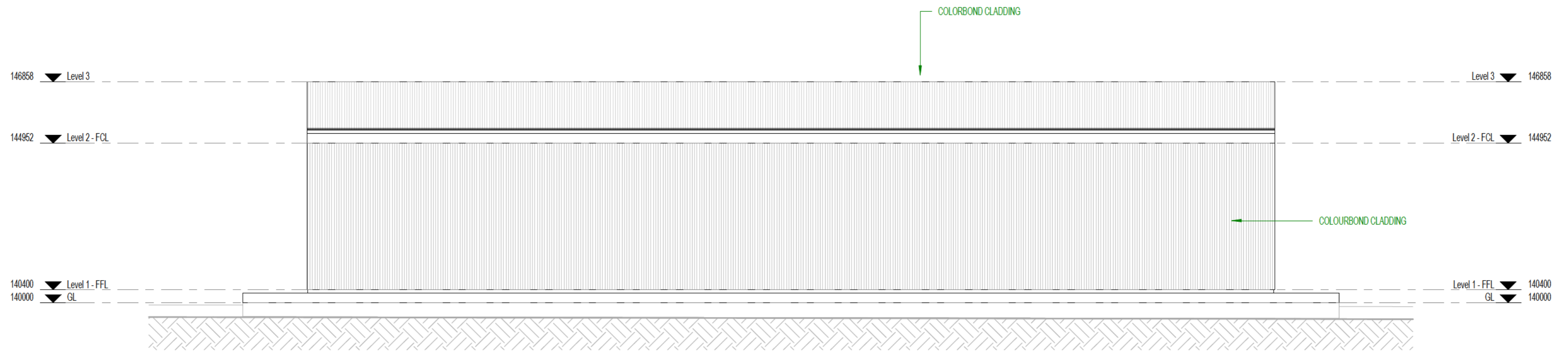
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No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
AMENDMENTS				

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REGION		COROWA					
LOCATION		291 - 311 ENDFIELD ST SOUTH COROWA					
PROJECT NAME		PROPOSED MACHINERY SHED					
DRAWING		EXTERNAL ELEVATIONS					
LOT No.	DP No.	SHEET No.	OF	5	DRAWING No.	AMEND.	SHEET SIZE
220	753734	A104				0	A2



S  
A103  
SOUTH ELEVATION  
1:100



W  
A103  
WEST ELEVATION  
1:100

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 0404 087 083

REGION COROWA  
 LOCATION 291 - 311 ENDFIELD ST SOUTH COROWA  
 PROJECT NAME PROPOSED MACHINERY SHED  
 DRAWING EXTERNAL ELEVATIONS

LOT No.	DP No.	SHEET No.	OF	5	DRAWING No.	AMEND.	SHEET SIZE
220	753734	A105				0	A2

No.	DESCRIPTION	INIT.	DATE	DEPT/COMPANY
V2	CONSTRUCTION ISSUE	SO	10.1.25	ISKO
AMENDMENTS				