

Applicant contact details

Title	Mr
First given name	luke
Other given name/s	
Family name	coles
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	There are multiple owners of the development site and I am one of them
Owner #	1
Title	Mr
First given name	luke
Other given name/s	
Family name	coles
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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Developer details

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

Development details

Application type	Development Application
Site address #	1
Street address	72 sturt street howlong
Local government area	FEDERATION
Lot / Section Number / Plan	
Primary address?	Yes

Planning controls affecting property	Land Application LEP	NA
	Land Zoning	NA
	Height of Building	NA
	Floor Space Ratio (n:1)	NA
	Minimum Lot Size	NA
	Heritage	NA
	Land Reservation Acquisition	NA
	Foreshore Building Line	NA

Proposed development

Selected common application types	Alterations or additions to an existing building or structure
Selected development types	Residential Accommodation
Description of development	construction of new extension to existing property and garage
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	3
Existing gross floor area (m2)	134
Proposed gross floor area (m2)	158
Total site area (m2)	2,023
Total net lettable area (m2)	0
What is the estimated development cost, including GST?	\$0.00
Estimated development cost	\$150,000.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	
Concept development	
Is the development to be staged?	
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	An alteration or addition with an Estimated Development Cost under \$10 million, or a new development with an Estimated Development Cost under \$5 million

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	luke
Other given name(s)	
Family name	coles
Contact number	
Email address	
Billing address	

Application documents

The following documents support the application.

Document type	Document file name
BASIX certificate	BASIX Certificate
Bushfire Assessment Report	2406 set 041024 BAL19_CHECKLIST_NAR 01.10.24 BAL check sheet NAR 01.10.24
Geotechnical report	4240314-1 Site - 72 Sturt Street HOWLONG NSW (1)
Owner's consent	owners consent
Site Plans	2406 set 181124
Statement of environmental effects	statment of enviromental effects
Structural engineers report	241007-S1-S20 REV C1 4240314-1 Site - 72 Sturt Street HOWLONG NSW (1) 241007-Computations 241007-Certificate-of-Compliance (1)

Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	



STATEMENT OF ENVIRONMENTAL EFFECTS - SMALL SCALE RESIDENTIAL AND CHANGE OF USE

Standard form for minor developments only.

A COMPLETED STATEMENT OF ENVIRONMENTAL EFFECTS (SEE) IS REQUIRED TO ACCOMPANY ALL DEVELOPMENT APPLICATIONS EXCEPT INTERGRATED DEVELOPMENTS WHICH REQUIRE AN ENVIRONMENTAL IMPACT STATEMENT (EIS).

ABOUT THIS FORM: This SEE template is designed to form an attachment to the Development Application. It can only be used for the following development types:

- ✓ Dwellings, single storey in the R1, R2, RU1, RU5 and R5 zones.
- ✓ Single shops or commercial premises in the B1, B2 & B6 zones*
- ✓ Residential alterations and additions
- ✓ Ancillary residential buildings and structures such as, verandahs, carports, garages, sheds, pergolas, swimming pools.

* Please note that a heritage impact statement is required for all premises within the Heritage Conservation area. This will be required for the majority of developments in the commercial precinct of Corowa.

Developments not listed above may require a SEE with greater detail. Please contact Council for further information.

The SEE must address all impacts that are relevant to your proposal, with comment on how the development will control or mitigate the impact. No matter how minor the impact, please advise Council in this document.

Failure to provide the requested items will delay processing of the development application and may result in the application being returned to you for completion or you receiving an additional information request from Council.

APPLICATION DETAILS

Applicant: Luke Coles

APPLICANT'S DECLARATION: I/we declare to the best of my/our knowledge and belief, that the particulars stated on this document are correct in every detail and that the information required has been supplied. I/we acknowledge that the development application may be returned to me if information is found to be missing or inadequate.

Applicant Signature: C. Coles Date: 10-11-24

PROPERTY DETAILS

Property Name: _____

Unit/House No.: 72 Street Name: sturt

Town: Howlong Postcode: _____

Lot: 1 Section: 31 DP/SP: 758528

PROPOSED DEVELOPMENT

Where applicable include a description of matters such as proposed buildings, proposed building materials, nominated colour scheme. Nature of use, staging of the development, details of any demolition and other works to be carried out in site.

Construction of Extension to existing house with garage.

PLANNING CONTROLS

Is your proposal permissible in the zone under Corowa LEP 2012 / Urana LEP 2011 YES NO

Is your proposal consistent with the zone objectives? YES NO

Is your proposal in accordance with Corowa DCP 2013 / Urana DCP 2011 YES NO

NOTE: If you answered no to any of the above questions please discuss your application with Council staff.

Are there any other planning controls relevant to your proposal YES NO

If yes, please list controls and how the application complies: _____

DESCRIPTION OF SITE

Include where applicable a description of the physical features of the site such as shape, slope, vegetation, waterways.

The site is a square block with a minimal grade sloping from west to east. Clean site with minimal vegetation.

What is the present use and previous use(s) of the site?

present use of site is a residential property.
Previous use of site is a residential property

Is the development site subject to any of the following natural hazards?

Bushfire Prone	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Flooding	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Storm water inundation	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

NOTE: If the site is identified as Bushfire Prone it will be necessary to address the Planning for Bushfire Protection Guidelines. For further information please consult the NSW Rural Fire Service website www.rfs.nsw.gov.au

How will you mitigate the impact of the natural hazards for this development?

Is the site constrained by any of the following? (Please refer to LEP Maps)

Terrestrial biodiversity	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Riparian Land and Watercourses	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Groundwater vulnerability	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Wetlands	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Item of Environmental Heritage or in conservation area *	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

How will you mitigate the impact of the development on these constraints?

*Note a Heritage Impact statement may be required. Please discuss with Council

What types of land use and development exist on the surrounding land?

Residential

CONTEXT AND SETTING – WILL THE DEVELOPMENT BE

Visually prominent in the surrounding area?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Inconsistent with the existing streetscape?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Out of Character with the surrounding area?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Inconsistent with surrounding land uses?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Vary a building line setback	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

If you answered yes to any of the above please provide details and justification for the proposal?

PRIVACY, VIEWS AND OVERTHROWING

Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space etc? YES NO

Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? YES NO

Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners, pump, bedroom and living room windows etc? YES NO

Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks, road or footpaths? YES NO

If yes, please provide details of issue. Some issues will require plans, i.e. overshadowing.

ACCESS, TRAFFIC AND UTILITIES

Is legal and practical access available to the development? YES NO

Will the development increase traffic movements/volumes?
If Yes by how much and what types of Vehicles? YES NO

Are additional access points to a road network required? YES NO

Has vehicle maneuvering and onsite parking been addressed in the design? YES NO

Is power, water, electricity, sewer and telecommunication service readily available to the site? YES NO

Comments

ENVIRONMENTAL IMPACTS

Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO

Does the development have the potential to result in any form of water pollution (i.e. sediment from runoff)? YES NO

Will the development have any noise impacts above background noise levels? (i.e. air conditioner units, pool pumps)? YES NO

Does the development involve any significant excavation or filling? YES NO

Could the development cause erosion or sediment runoff (including during construction)? YES NO

Is there a likelihood of the development resulting in site contamination? YES NO

Is the development considered to be environmentally sustainable (including provisions of BASIX certificate where required)? YES NO

Is the development situated in a heritage conservation area or likely to have an impact on any heritage item or item of cultural significance? YES NO

Is the development likely to disturb any aboriginal artifacts or relics? YES NO

Comments

FLORA AND FAUNA – FOR THREATENED SPECIES PLEASE VISIT www.threatenedspecies.nsw.gov.au

- Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO
- Will the development result in the removal of any native vegetation from the site? YES NO
- Is the development likely to have any impact on threatened species or native habitat? YES NO

If the answer is yes to either of the above questions it may be necessary to have a formal seven part test completed to assess the impact on threatened species – please contact Council for further information.

Comments _____

WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of Sewer Septic
- Will liquid trade waste be discharged to Council's sewer? YES NO
- Will the Development result in any hazardous waste or other waste disposal issue? YES NO
- How will stormwater (from roof and hard standing areas) be disposed of? Council System Other (Provide Details)

Details: _____

- Have all potential overland stormwater risks been considered in the design of the development? YES NO

Comments _____

SOCIAL AND ECONOMIC IMPACTS

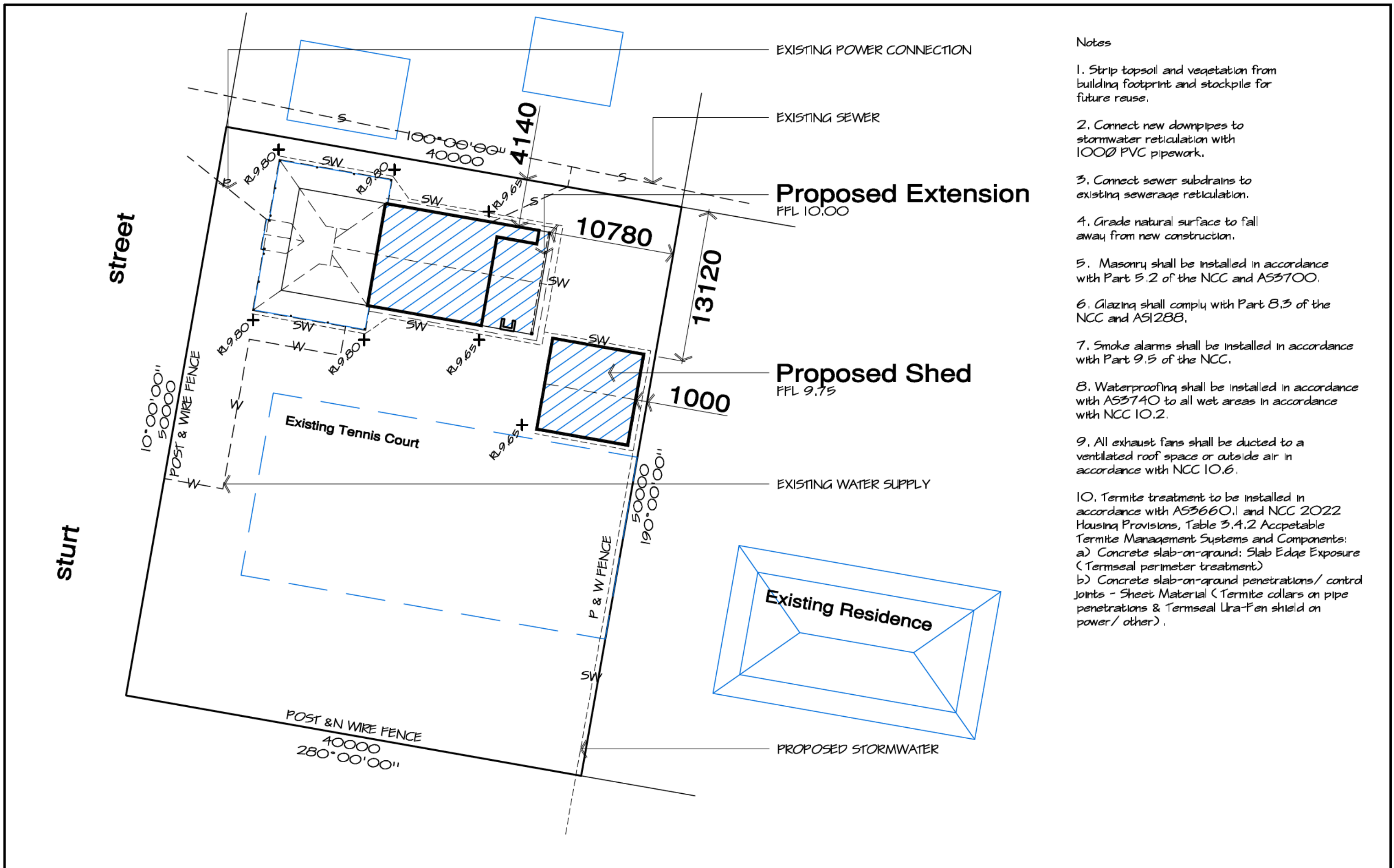
- Will the proposal have any economic or social consequences in the area? YES NO
- Has the development addressed safety, security or crime prevention issues? YES NO

Comments _____

OTHER RELEVANT MATTERS

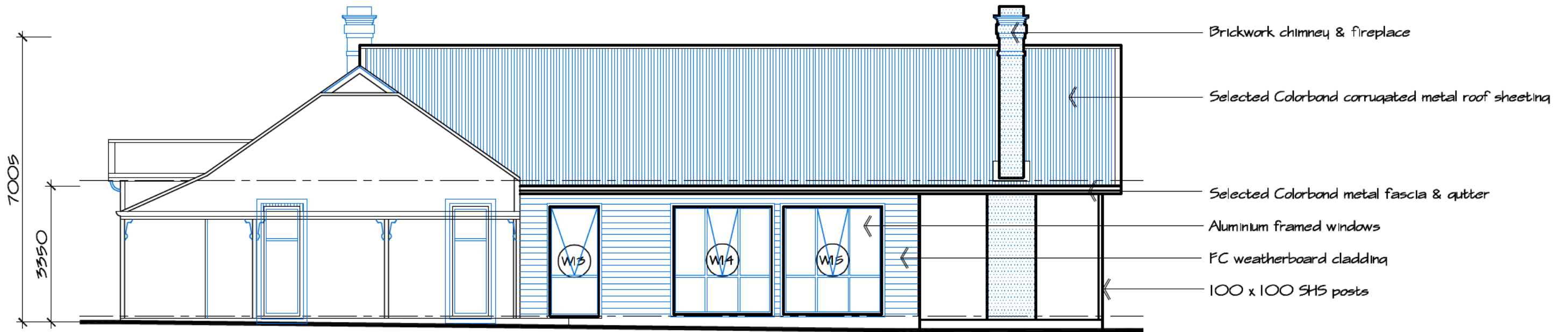
Are there any other matters for consideration that you are aware of as developer?

No



- Notes
1. Strip topsoil and vegetation from building footprint and stockpile for future reuse.
 2. Connect new downpipes to stormwater reticulation with 100Ø PVC pipework.
 3. Connect sewer subdrains to existing sewerage reticulation.
 4. Grade natural surface to fall away from new construction.
 5. Masonry shall be installed in accordance with Part 5.2 of the NCC and AS3700.
 6. Glazing shall comply with Part 8.3 of the NCC and AS1288.
 7. Smoke alarms shall be installed in accordance with Part 9.5 of the NCC.
 8. Waterproofing shall be installed in accordance with AS3740 to all wet areas in accordance with NCC 10.2.
 9. All exhaust fans shall be ducted to a ventilated roof space or outside air in accordance with NCC 10.6.
 10. Termite treatment to be installed in accordance with AS3660.1 and NCC 2022 Housing Provisions, Table 3.4.2 Acceptable Termite Management Systems and Components:
 - a) Concrete slab-on-ground: Slab Edge Exposure (Termseal perimeter treatment)
 - b) Concrete slab-on-ground penetrations/ control joints - Sheet Material (Termite collars on pipe penetrations & Termseal Ura-Fen shield on power/ other).

	6 TURNTABLE LANE YACKANDANDAH VIC 3749 PH 0438 623 462 E.JAZTEK@BIGPOND.COM WWW.COOKDESIGN.COM.AU		SCALE	1:300	Proposed Extension L & A Coles 72 Sturt Street Howlong NSW SITE PLAN	DP-AD 512
			DATE	18.11.24		ISSUE
DRAWN	BCC	JOB No	2406			
CHECKED	GJC	SHEET No	01			



- Brickwork chimney & fireplace
- Selected Colorbond corrugated metal roof sheeting
- Selected Colorbond metal fascia & gutter
- Aluminium framed windows
- FC weatherboard cladding
- 100 x 100 S15 posts

south elevation



west elevation

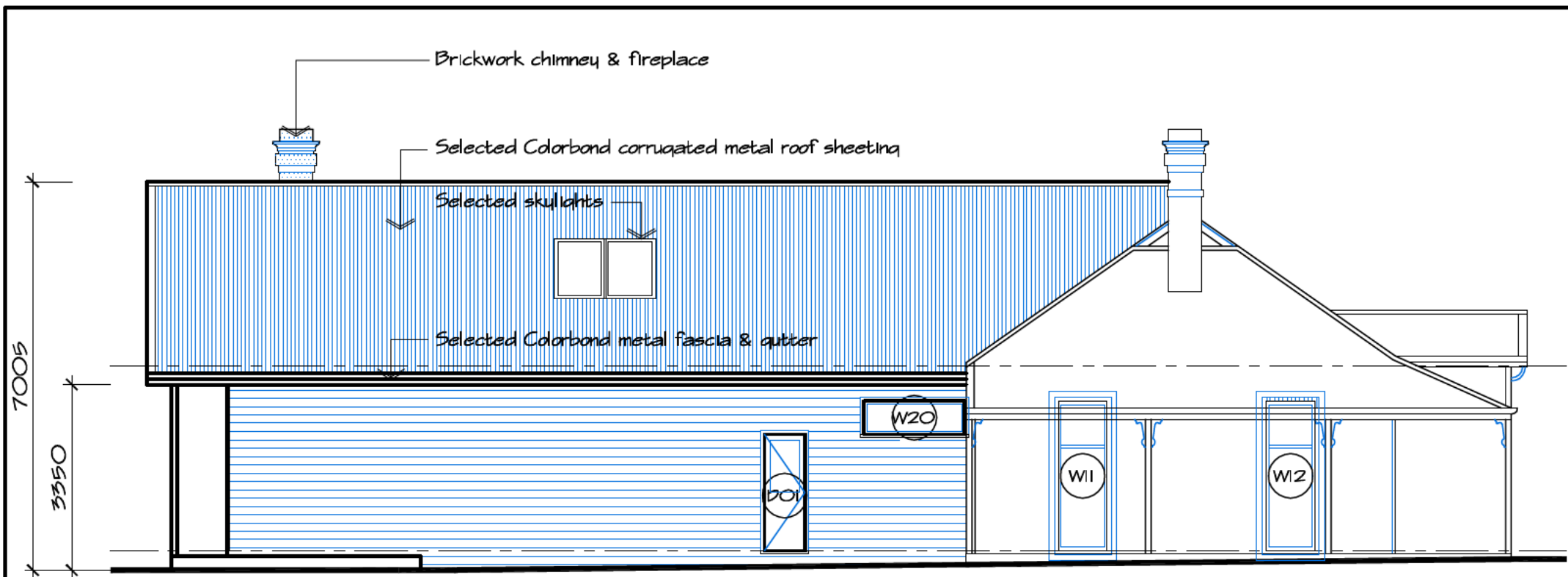


6 TURNTABLE LANE
 YACKANDANDAH VIC 3749
 PH 0438 623 462
 E. JAZTEK@BIGPOND.COM
 WWW.COOKDESIGN.COM.AU

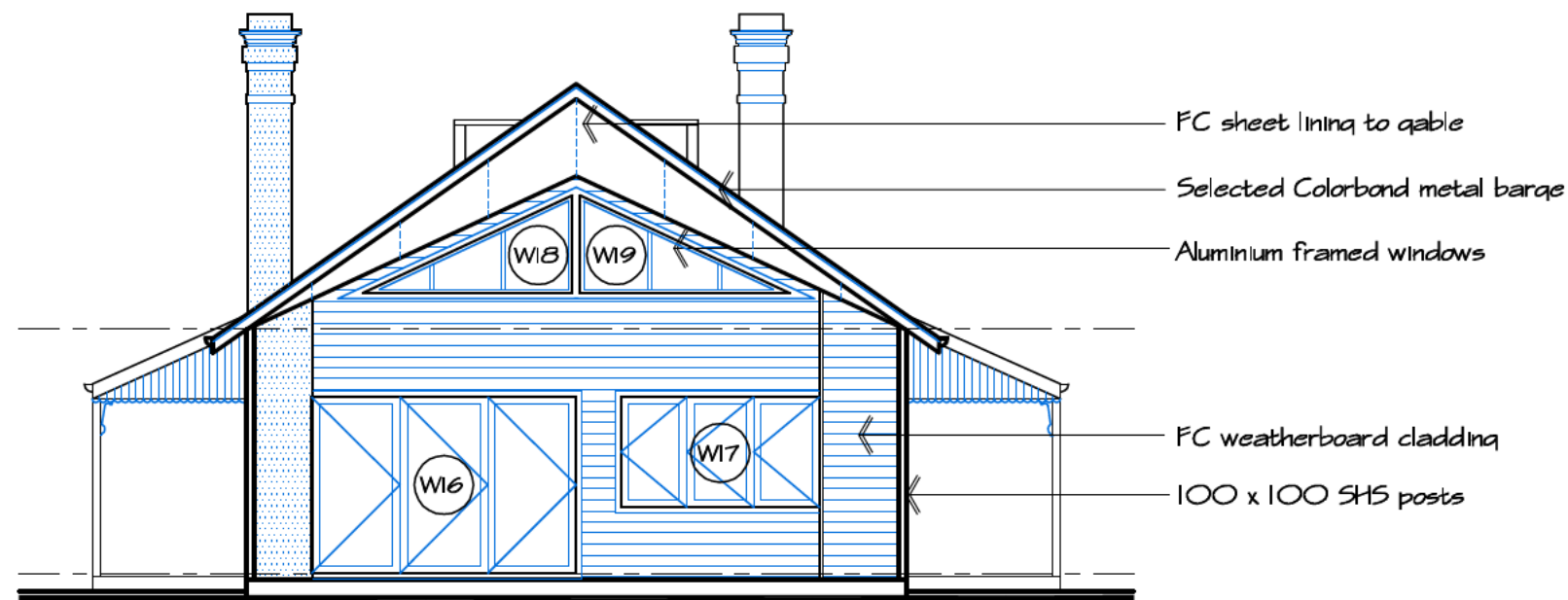
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**Proposed Extension
 L & A Coles
 72 Sturt Street Howlong NSW
 ELEVATIONS**

DP-AD 512	
ISSUE	F
JOB No	2406
SHEET No	07



north elevation



east elevation

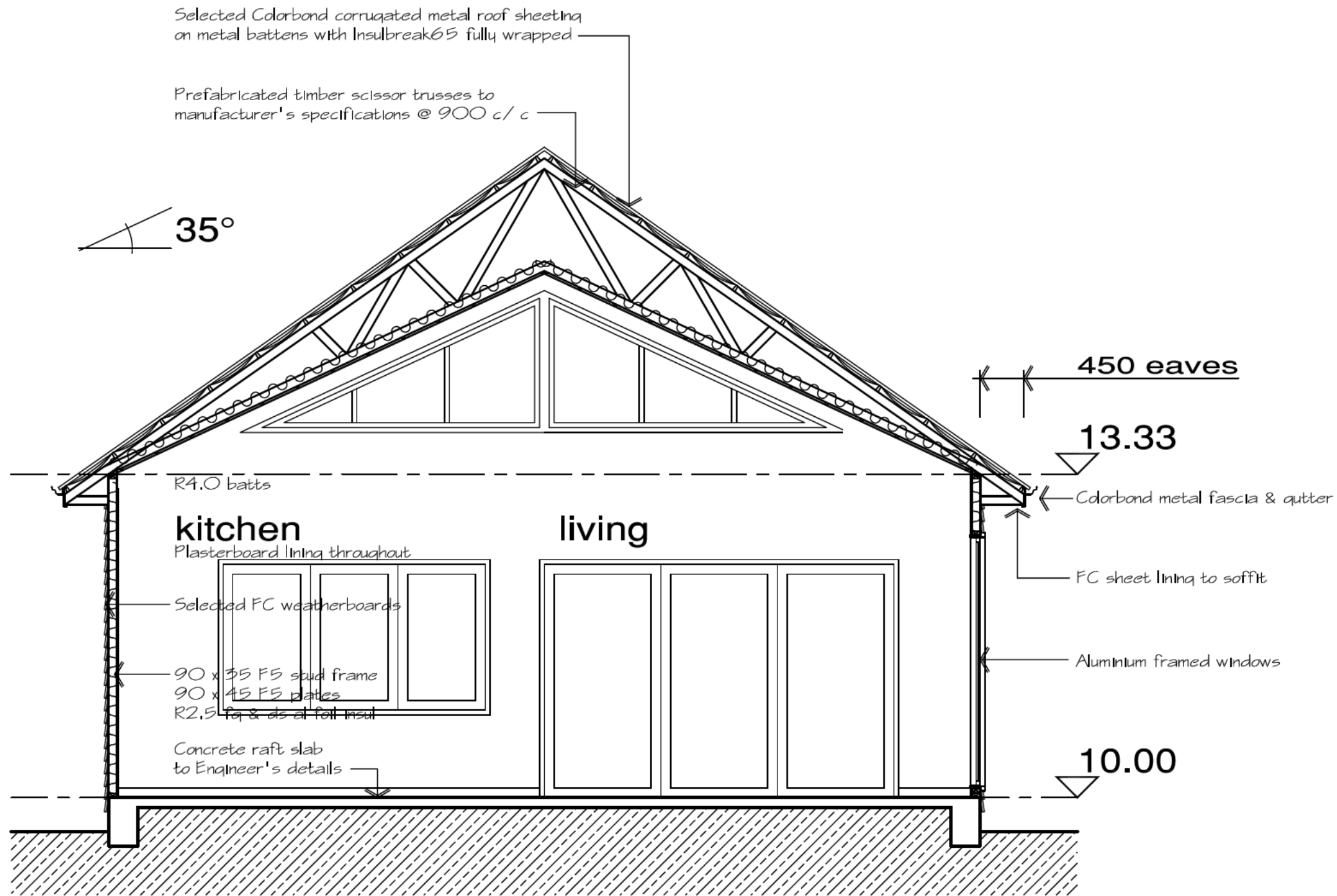


6 TURNTABLE LANE
 YACKANDANDAH VIC 3749
 PH 0438 623 462
 E JAZTEK@BIGPOND.COM
 WWW.COOKDESIGN.COM.AU

SCALE	1:100
DATE	11.09.24
DRAWN	BCC
CHECKED	GJC

Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
ELEVATIONS

DP-AD 512
ISSUE E
JOB No 2406
SHEET No 08



section 01
AO6

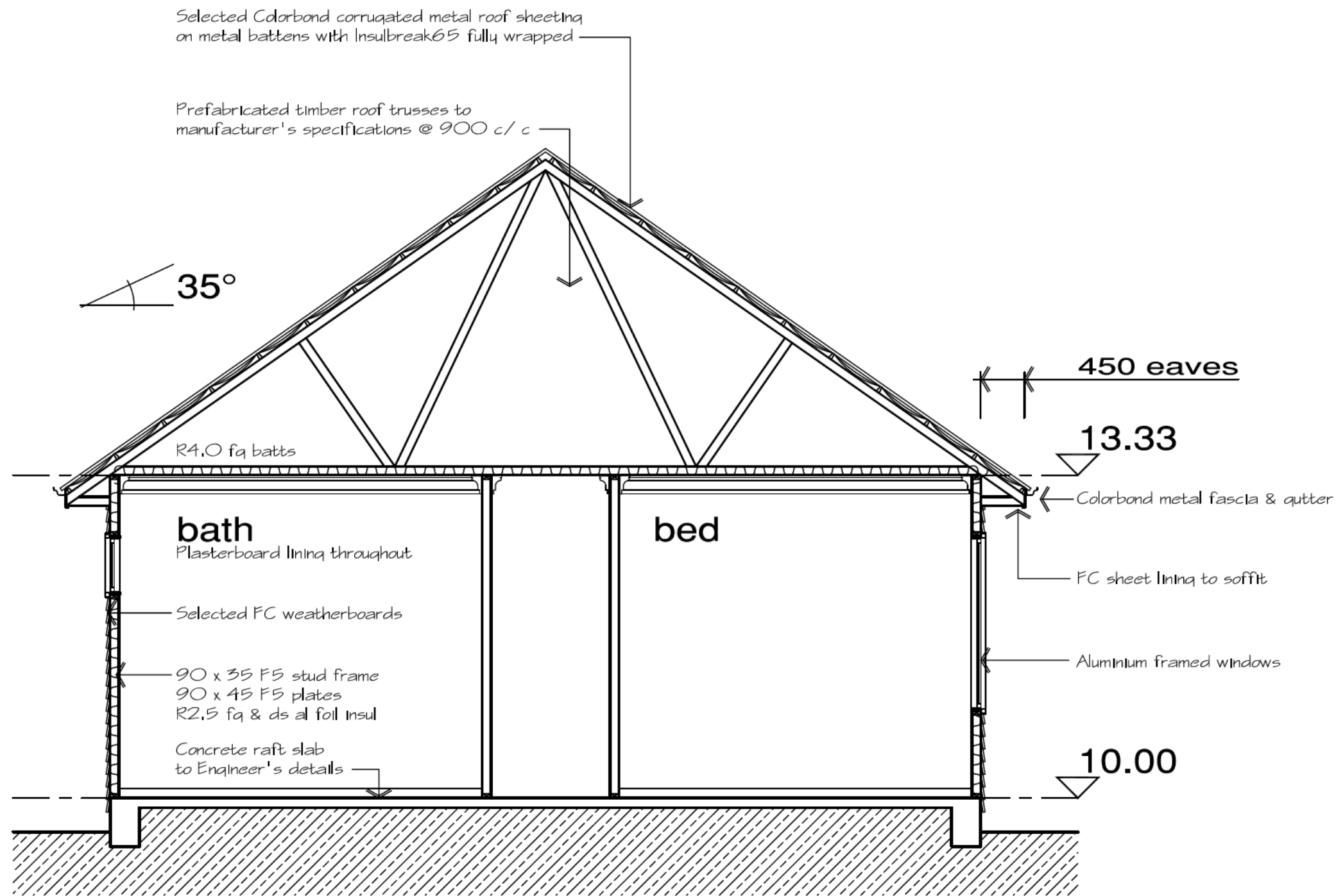


6 TURNABLE LANE
 YACKANDANDAH VIC 3749
 PH 0438 623 462
 E JAZTEK@BIGPOND.COM
 WWW.COOKDESIGN.COM.AU

SCALE	1:50
DATE	02.09.24
DRAWN	BCC
CHECKED	GJC

Proposed Extension
 L & A Coles
 72 Sturt Street Howlong NSW
SECTION

DP-AD 512
ISSUE B
JOB No 2406
SHEET No 09



section 02
A06

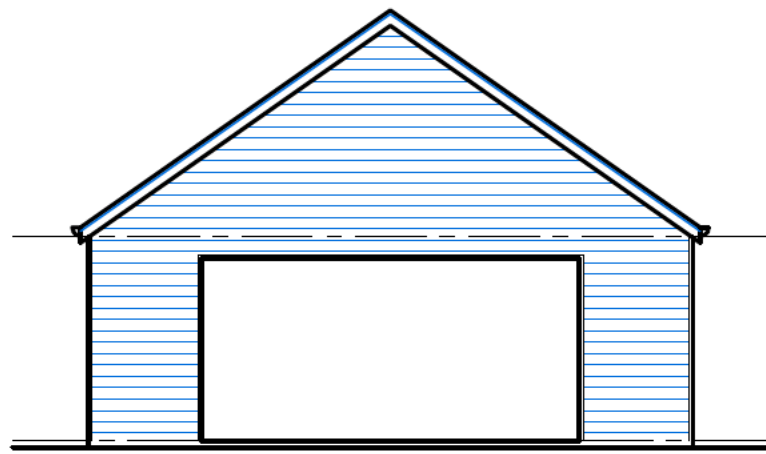


6 TURNTABLE LANE
YACKANDANDAH VIC 3749
PH 0438 623 462
E JAZTEK@BIGPOND.COM
WWW.COOKDESIGN.COM.AU

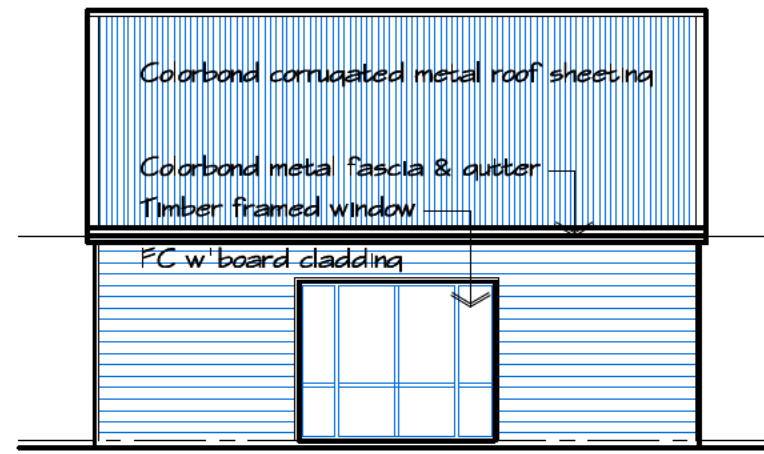
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Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
SECTION

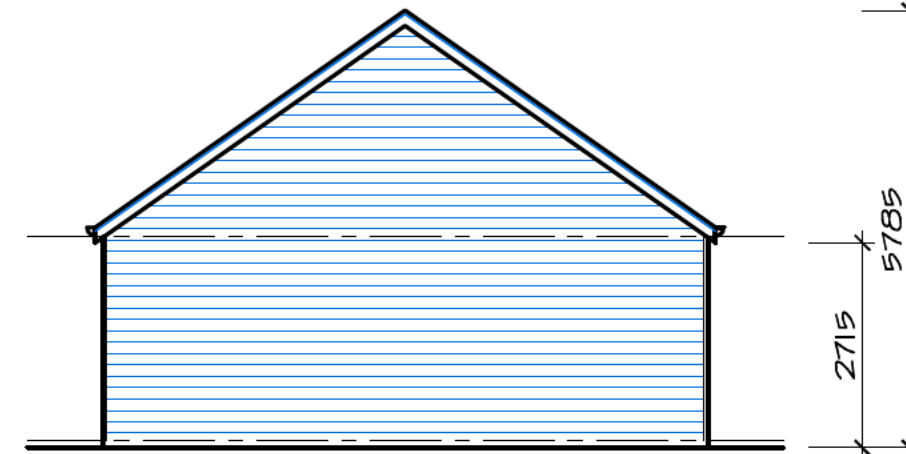
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ISSUE A
JOB No 2406
SHEET No 10



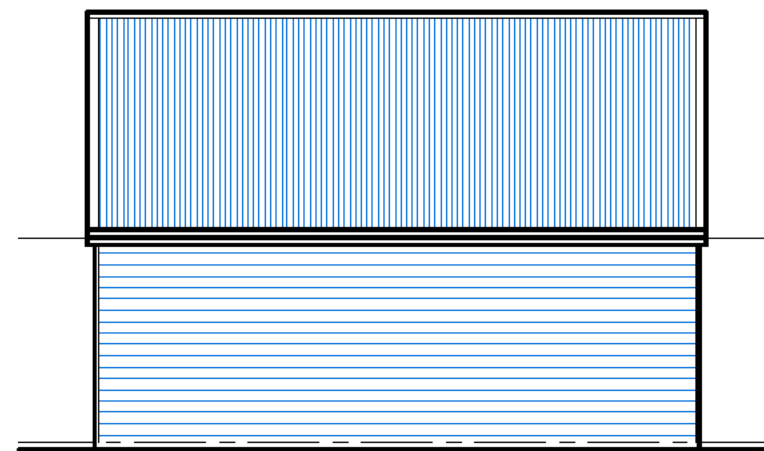
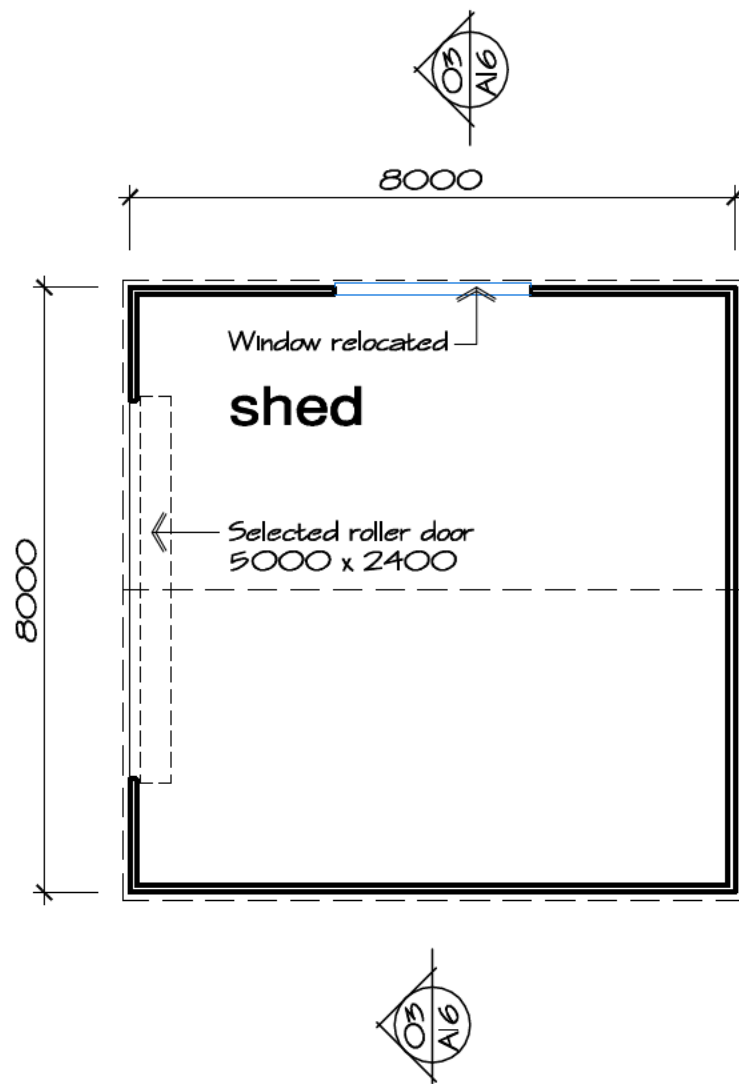
south elevation



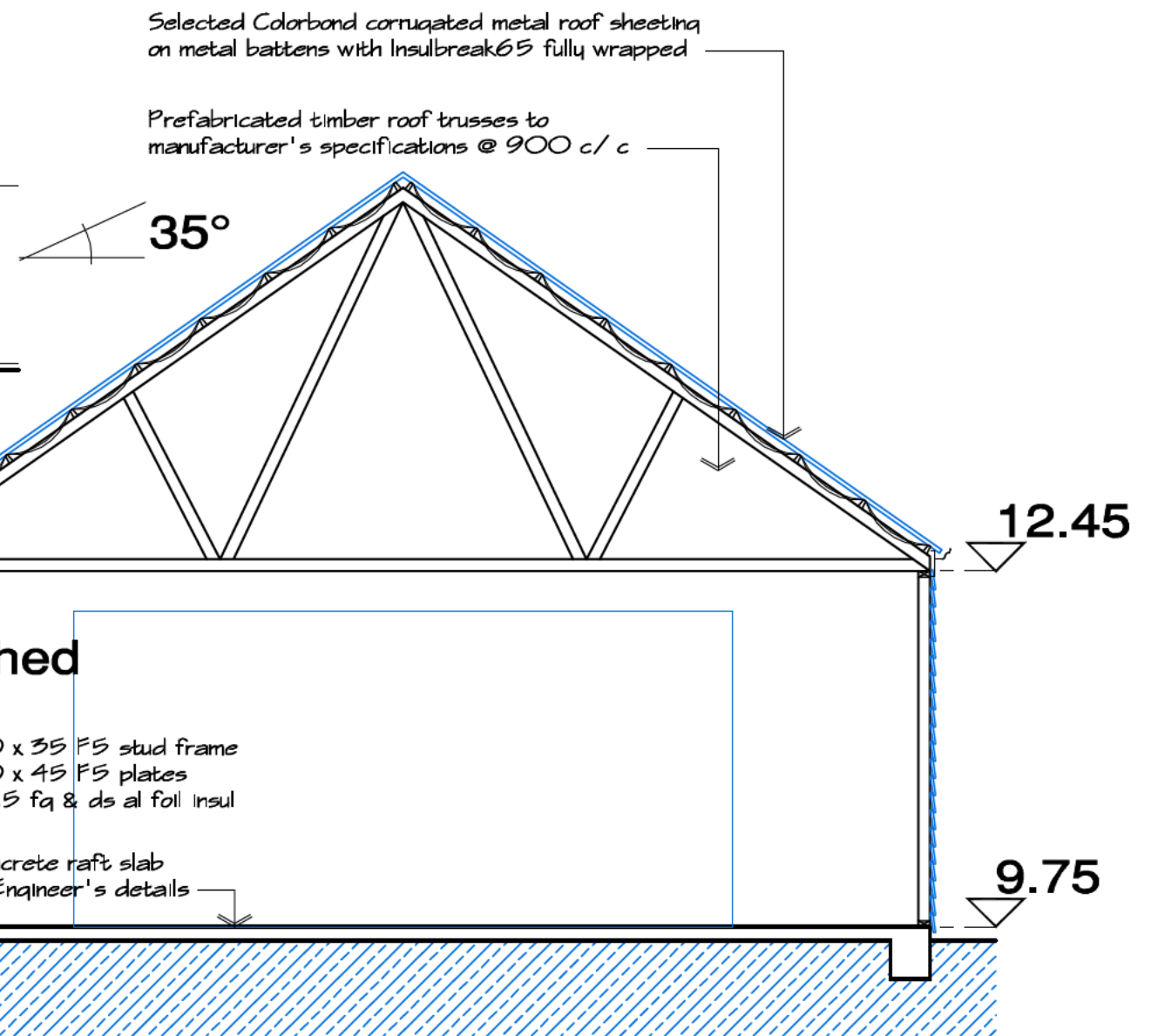
south elevation



south elevation



south elevation



section

