

Apply for certificate

Select the certificate action you would like to apply for	Subdivision works certificate
What type of subdivision works certificate are you seeking?	New application
Do you want to direct this application to a Principal Certifier or State Agency for assessment?	Principal Certifier
Which approval type is this certificate in relation to?	Development Application number (DA)
Please enter the DA number that the consent authority has provided(e.g. DA/22/2023).	10.2024.61.1
Was the DA applied for via the NSW Planning Portal?	Yes
Please provide the portal application reference number (PAN)	PAN-435370
Has the DA been determined?	Yes
Date of determination of the DA Case	21/08/24
Site address #	1
Street address	122-124 PELL STREET HOWLONG 2643
Local government area	FEDERATION
Lot / Section Number / Plan	18/49/DP758528 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	<p>Land Application LEP</p> <p>Land Zoning</p> <p>Height of Building</p> <p>Floor Space Ratio (n:1)</p> <p>Minimum Lot Size</p> <p>Heritage</p> <p>Land Reservation Acquisition</p> <p>Foreshore Building Line</p> <p>Land near Electrical Infrastructure</p>

Applicant details

Title	Mr
First given name	Jason
Other given name/s	
Family name	Kohn
Contact number	██████████
Email	████████████████████
Address	██
Is the applicant a company?	No

Land owner details

Owner/s of the Development Site	I am the sole owner of the development site
Owner Builder?	
Title	
First given name	
Other given name/s	

Family name	
Contact number	
Email	
Address	
Company name (if applicable)	
ABN/ACN	

Builder or Principal contractor details

Builder Type	Individual
Title	Mr
First given name	Jason
Other given name/s	
Family name	Kohn
Contact number	██████████
Email	██████████
Address	████████████████████
Licence number or Permit number in the case of an owner builder	

Long Service Levy

Have you paid the Long Service Levy?	No
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Payer details

Payer Type	Individual
Title	Mr.
First given name	Jason
Other given name/s	
Family name	Kohn
Contact number	██████████
Email	██████████
Billing address	████████████████████

Developer details

ABN	
ACN	
Name	
Trading Name	
Address	
Email	

Proposed development details

What's the type of SWC proposed?	Torrens
Type of development (Regs.Schedule 1 part 3a, 6ab(c))	Earthworks Roadworks Stormwater drainage Water supply works Sewerage works Landscaping works Erosion control works
Please provide a detailed description of the development	Two Lot Residential subdivision with associated works to supply services (Sewer, Water, Drainage, Access, Telecommunications and Electrical)
Please provide the estimated development cost including GST	\$88,000.00

Development information

Number of proposed lots	
Number of existing lots	

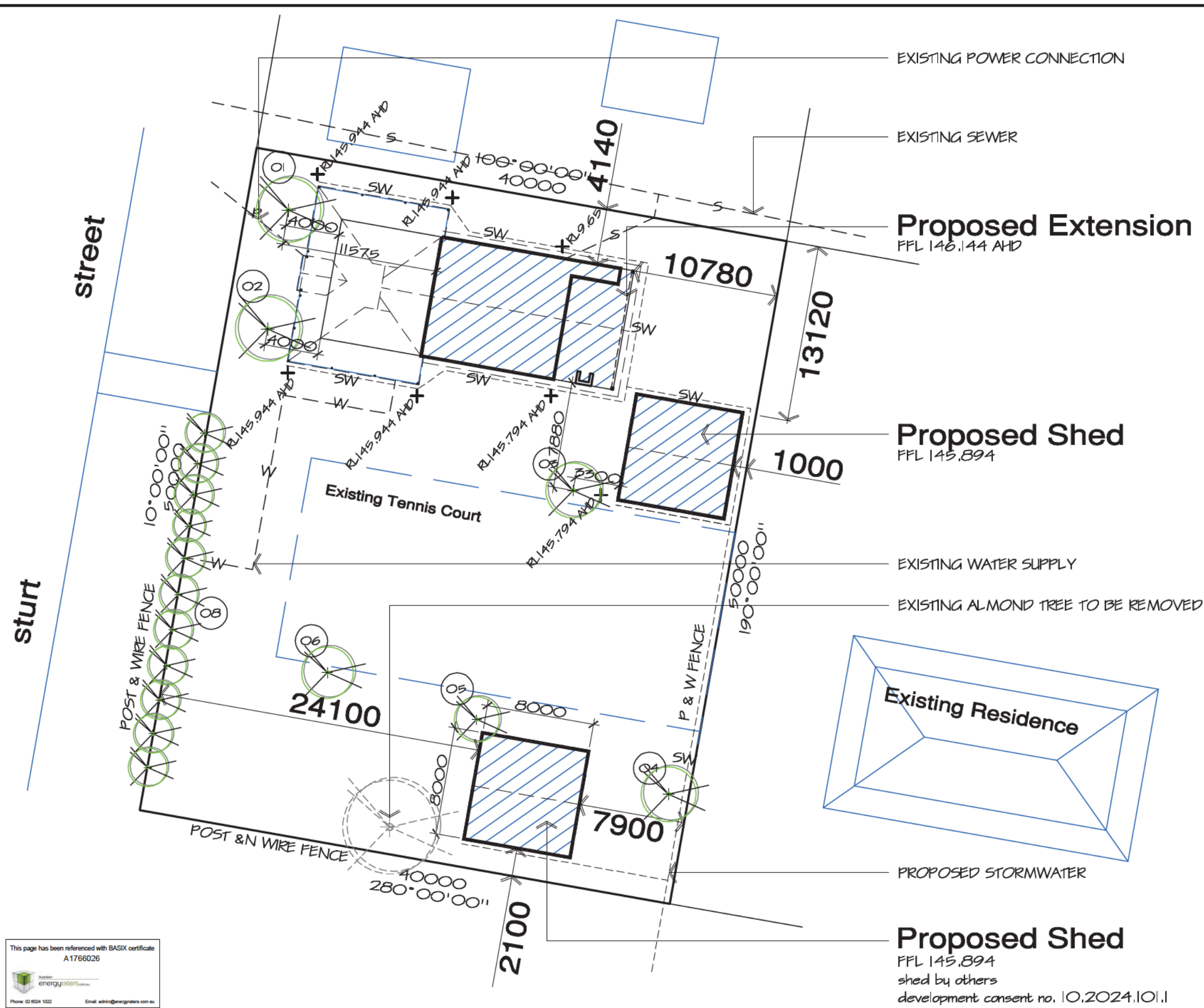
Nominated Council/Accredited Certifier details

Enter the name of the nominated Council/Accredited Certifier of your choice.	FEDERATION COUNCIL
--	--------------------

Company name	FEDERATION COUNCIL
Address	PO BOX 77 COROWA NSW 2646

Declarations

I declare that all the information in the application and accompanying documents is true and correct to the best of my knowledge.	Yes
I understand that the application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this application. I acknowledge that the information may be used for other Government purposes.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice.	Yes
I agree to pay any required NSW Planning Portal Service Fee/s specified under Part 9, Schedule 4 of the Environmental Planning and Assessment Regulation 2021 to the Department of Planning, Housing and Infrastructure.	Yes



- Notes
1. Strip topsoil and vegetation from building footprint and stockpile for future reuse.
 2. Connect new downpipes to stormwater reticulation with 100Ø PVC pipework.
 3. Connect sewer subdrains to existing sewerage reticulation.
 4. Grade natural surface to fall away from new construction.
 5. Masonry shall be installed in accordance with Part 5.2 of the NCC and AS3700.
 6. Glazing shall comply with Part 8.3 of the NCC and AS1288.
 7. Smoke alarms shall be installed in accordance with Part 9.5 of the NCC.
 8. Waterproofing shall be installed in accordance with AS3740 to all wet areas in accordance with NCC 10.2.
 9. All exhaust fans shall be ducted to a ventilated roof space or outside air in accordance with NCC 10.6.
 10. Termite treatment to be installed in accordance with AS3660.1 and NCC 2022 Housing Provisions, Table 3.4.2 Acceptable Termite Management Systems and Components:
 - a) Concrete slab-on-ground: Slab Edge Exposure (Termiseal perimeter treatment)
 - b) Concrete slab-on-ground penetrations/ control joints - Sheet Material (Termite collars on pipe penetrations & Termiseal Ura-Fen shield on power/ other).

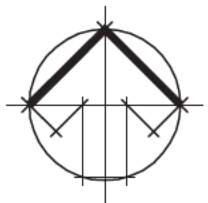
No.	TYPE	HEIGHT	SPREAD
O1	Maquidia	3500	5000
O2	Maquidia	3500	5000
O3	Olive	2500	4000
O4	Lime	2000	4000
O5	Orange	1500	2500
O6	Olive	2000	4000
O7	Almond	4500	7000
O8	Elm - 11 off	10000	3000

This page has been referenced with BASIX certificate
A1766026

Phone: 02 804 1022 Email: admin@energyraters.com.au



6 TURNTABLE LANE
YACKANDANDAH VIC 3749
PH 0438 623 462
E.JAZTEK@BIGPOND.COM
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SCALE	1:300
DATE	10.02.25
DRAWN	BCC
CHECKED	GJC

Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
SITE PLAN

DP-AD 512
ISSUE E
JOB No 2406
SHEET No 01

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the conditions set out below. Terms used in this certificate, or in the comments, have the meaning given to be document entitled 'BASIX Certificate' dated 12/09/2012 published by the Department. This document is available at www.basix.nsw.gov.au

Severely
Date of issue: 18 September 2016
To be valid, this certificate must be signed within 3 months of the date of issue



Project address	Start T1 2043
Project name	72 STURT STREET HOWLONG NSW
Local Government Area	Penrith Council
Plan type and number	Development Plan DP15823
Lot number	1
Certificate number	17
Proposed floor	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The approved development set for my recorded value is \$150,000 or more, and does not include a pool or spa or air
NSW	NSW
Certificate Prepared by	www.cookdesign.com.au
Name	Country Home Energyworks
Date of approval	18/09/2016

Features and systems	Show on DA Plans	Show on CCDC Plans & specs	Certificate Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are rated with Reduced, Compact fluorescent, or light emitting diode (LED) lamps.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Wallpaper The applicant must ensure new or altered wallcoverings have a flow rate no greater than 5 litres per minute or a 3 star water rating.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Water The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Water The applicant must ensure new or altered taps have a flow rate no greater than 3 litres per minute or a minimum 3 star water rating.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Construction	Show on DA Plans	Show on CCDC Plans & specs	Certificate Check
Insulation requirements The applicant must construct the new or altered construction (walls, roofs and ceilings) in accordance with the specifications listed in the table below, except that an additional insulation is not required where the area of the construction is less than 20% of the total area of the construction (where insulation already exists).	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Construction			
Additional insulation required (if any)			
Other specifications			
Roof and ceiling (external walls, floor, metal roof)	R 1.0 or R2 (including construction)	As per specification	<input checked="" type="checkbox"/>
Roof ceiling (internal walls)	As per specification	As per specification	<input checked="" type="checkbox"/>
Roof ceiling (external walls)	As per specification	As per specification	<input checked="" type="checkbox"/>
Roof ceiling (internal walls)	As per specification	As per specification	<input checked="" type="checkbox"/>

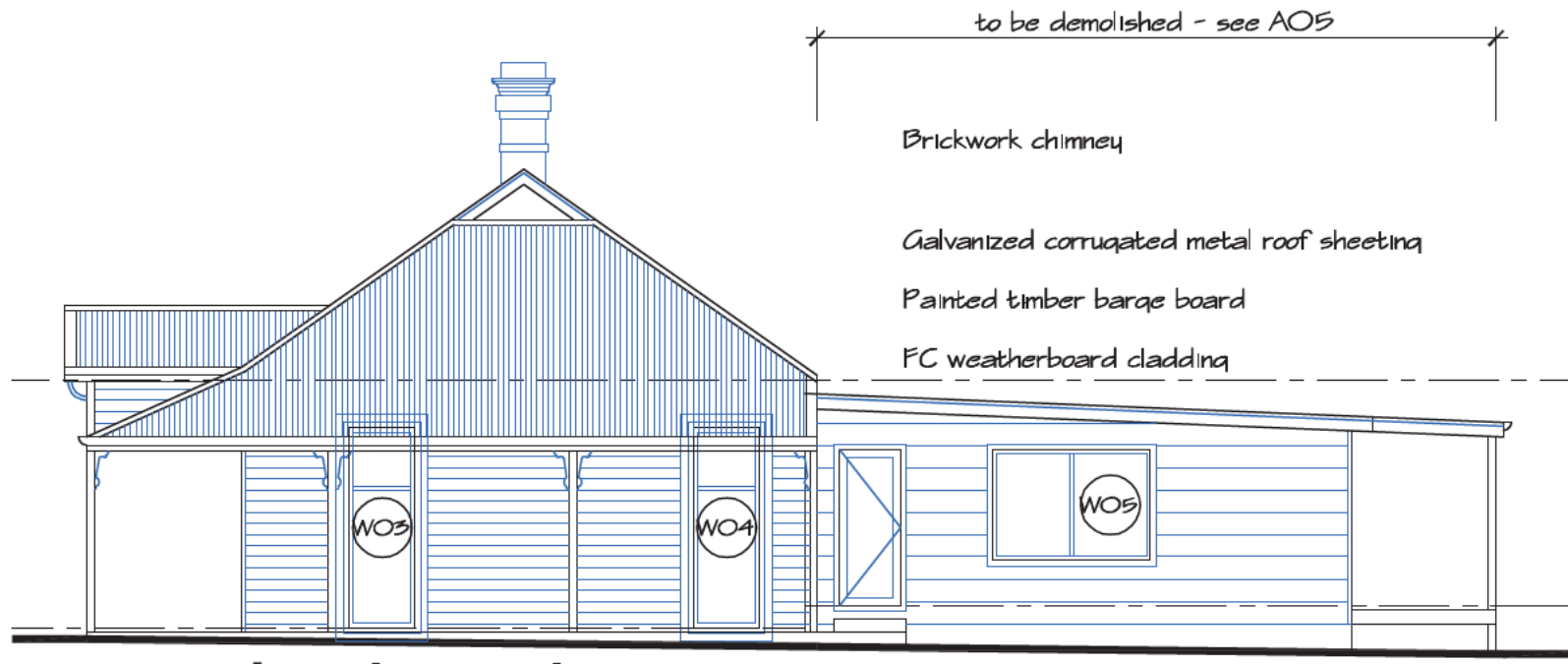
Glazing requirements	Show on DA Plans	Show on CCDC Plans & specs	Certificate Check
Windows and glazed doors The applicant must ensure the windows, glazed doors and sliding doors, in accordance with the specifications listed in the table below. Requesting exemptions must be satisfied for each window and glazed door.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Windows and glazed doors			
Each window or glazed door (all measurements in millimetres) must have a U-value no greater than 0.45 (or 0.40 for double glazing), a thermal performance (TP) no greater than 1.0 and a Solar Heat Gain Coefficient (SHGC) no greater than 0.45 (or 0.40 for double glazing). The applicant must also ensure the window or glazed door is not a sliding door or a door with a glass panel. The applicant must also ensure the window or glazed door is not a sliding door or a door with a glass panel. The applicant must also ensure the window or glazed door is not a sliding door or a door with a glass panel.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Each window or glazed door (all measurements in millimetres) must have a U-value no greater than 0.45 (or 0.40 for double glazing), a thermal performance (TP) no greater than 1.0 and a Solar Heat Gain Coefficient (SHGC) no greater than 0.45 (or 0.40 for double glazing). The applicant must also ensure the window or glazed door is not a sliding door or a door with a glass panel. The applicant must also ensure the window or glazed door is not a sliding door or a door with a glass panel.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
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Glazing requirements	Show on DA Plans	Show on CCDC Plans & specs	Certificate Check
Windows and glazed doors glazing requirements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Glazing requirements			
Window number	Location	Area of glass (square metres)	Glazing device
W01	N	1.1	As per specification
W02	N	1.2	As per specification
W03	E	1.3	As per specification
W04	E	1.4	As per specification
W05	E	1.5	As per specification
W06	E	1.6	As per specification

Glazing requirements	Show on DA Plans	Show on CCDC Plans & specs	Certificate Check
Glazing requirements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Glazing requirements			
Window number	Location	Area of glass (square metres)	Glazing device
W01	N	1.1	As per specification
W02	N	1.2	As per specification
W03	E	1.3	As per specification
W04	E	1.4	As per specification
W05	E	1.5	As per specification
W06	E	1.6	As per specification

Glazing requirements	Show on DA Plans	Show on CCDC Plans & specs	Certificate Check
Glazing requirements	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Glazing requirements			
Window number	Location	Area of glass (square metres)	Glazing device
W01	N	1.1	As per specification
W02	N	1.2	As per specification
W03	E	1.3	As per specification
W04	E	1.4	As per specification
W05	E	1.5	As per specification
W06	E	1.6	As per specification

Legend
Indicates commitments, "split-off" makes the permit carrying out the development.
Comments identified with a "V" in the "Show on DA Plans" column must be shown in the plans accompanying the development application for the proposed development of a development application and included in the approved development.
Comments identified with a "V" in the "Show on CCDC Plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate (completing development certificate for the proposed development).
Comments identified with a "V" in the "Certificate Check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development can be issued.



south elevation

- Brickwork chimney
- Galvanized corrugated metal roof sheeting
- Painted timber barge board
- FC weatherboard cladding

Aluminium framed window



west elevation

- Timber framed windows
- Timber weatherboard cladding
- Metal gutter on painted timber fascia

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energydesign.com.au
Phone: 02 8224 1022 Email: admin@energydesign.com.au

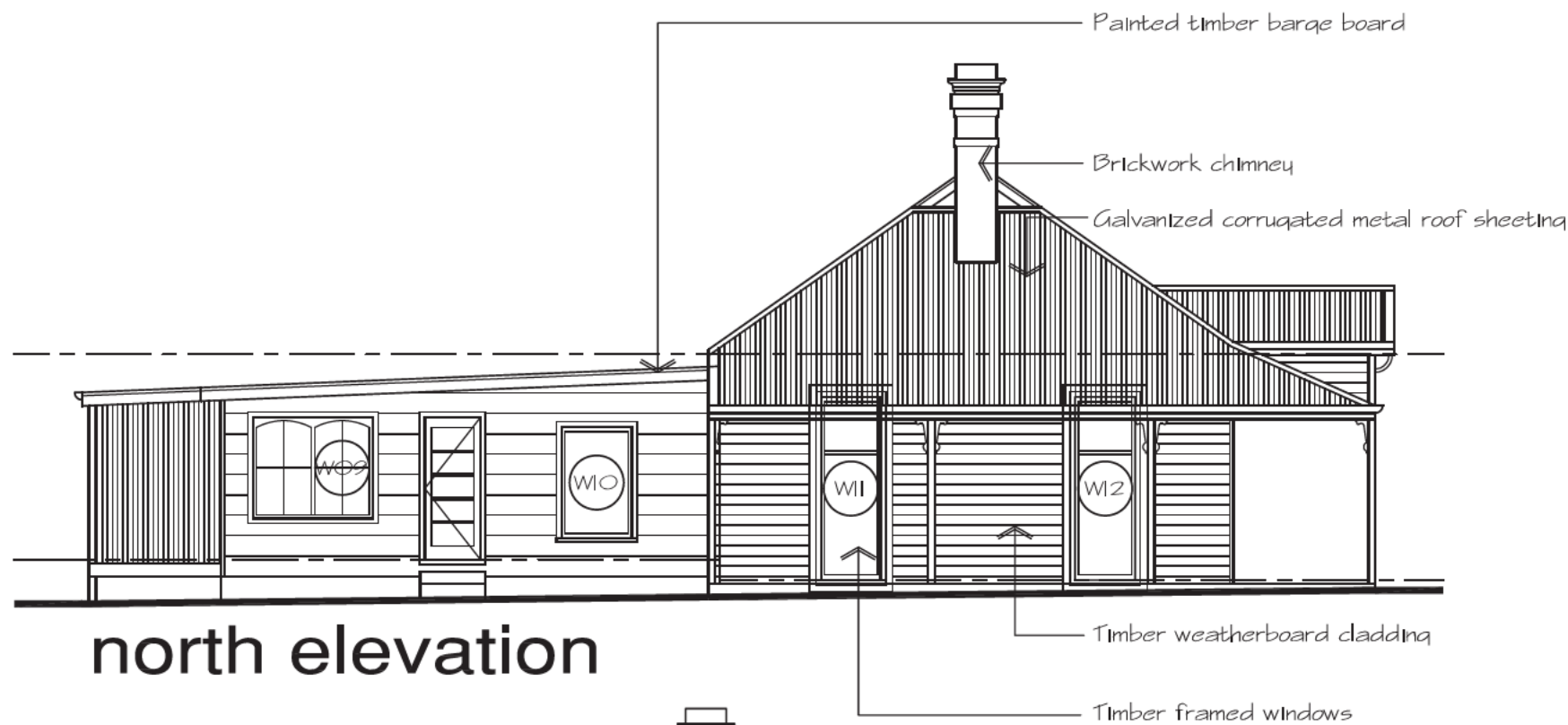


6 TURNTABLE LANE
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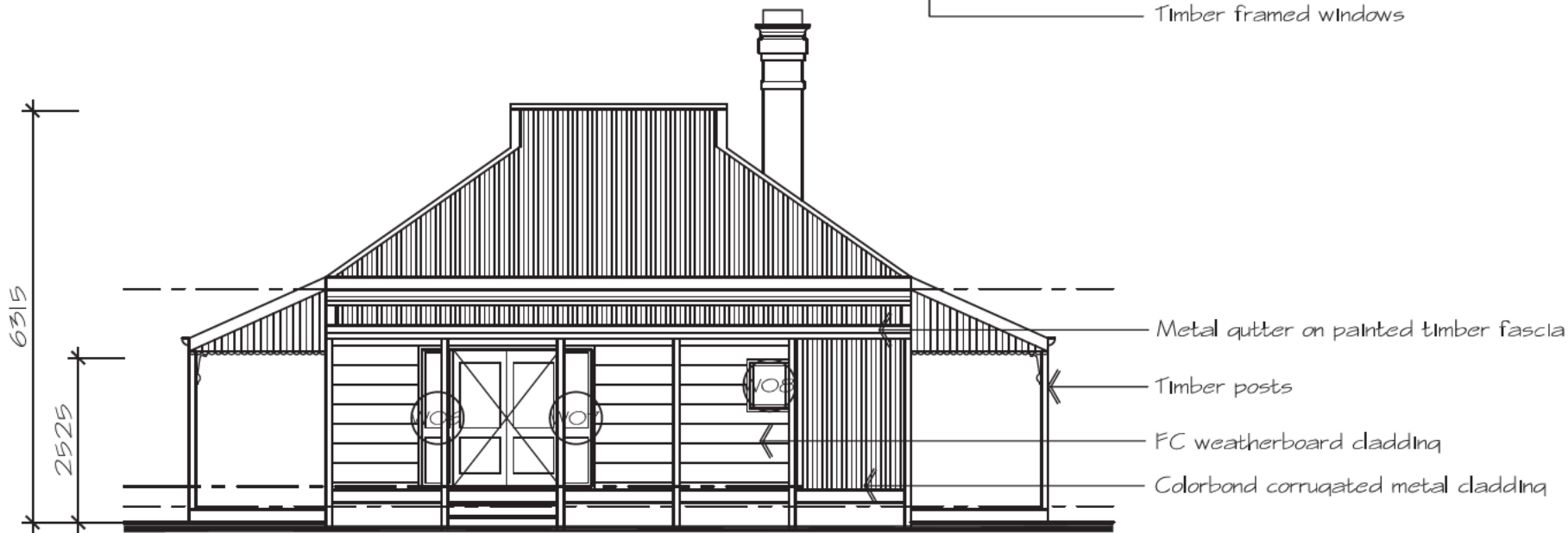
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Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
EXISTING ELEVATIONS

DP-AD 512
ISSUE B
JOB No 2406
SHEET No 03



north elevation



east elevation

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 energyplus

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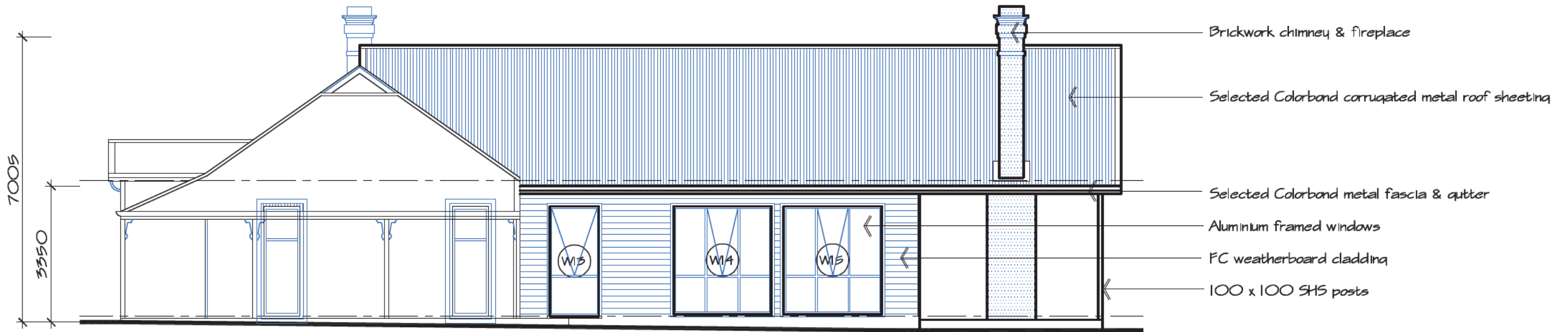


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SCALE	1:100
DATE	16.05.24
DRAWN	BCC
CHECKED	GJC

Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
EXISTING ELEVATIONS


DP-AD 512
ISSUE A
JOB No 2406
SHEET No 04



south elevation



west elevation

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 energy star
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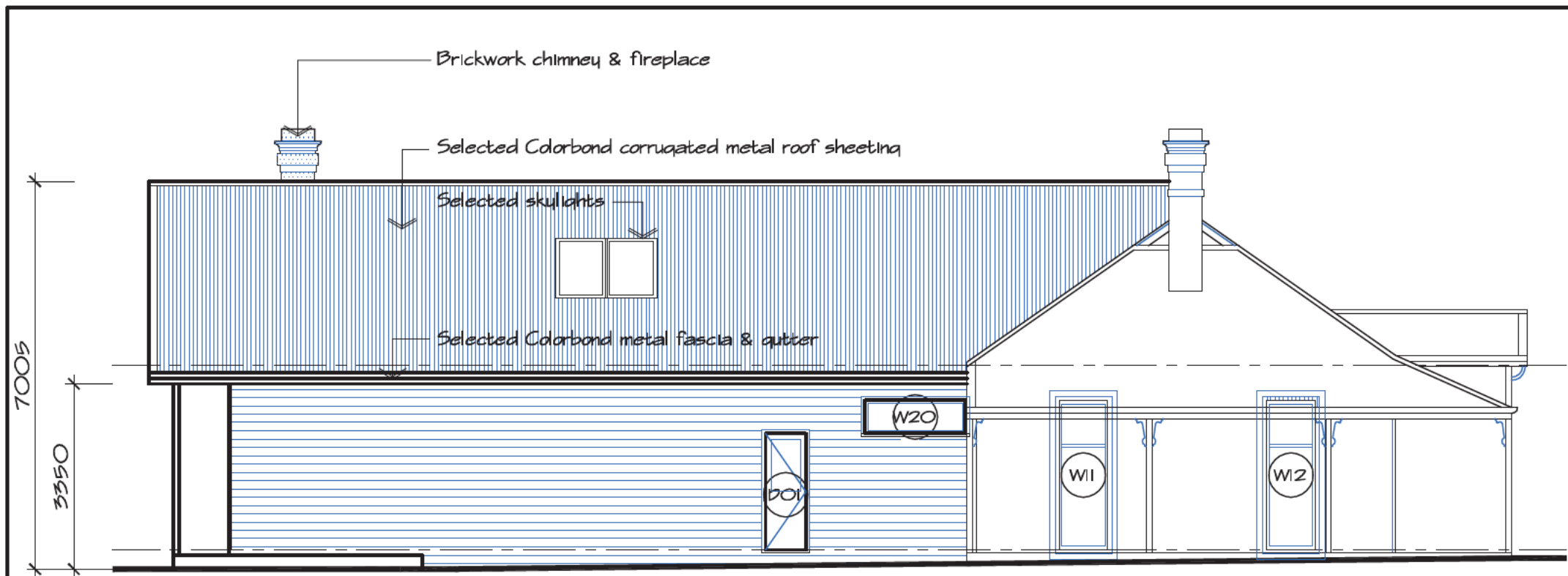


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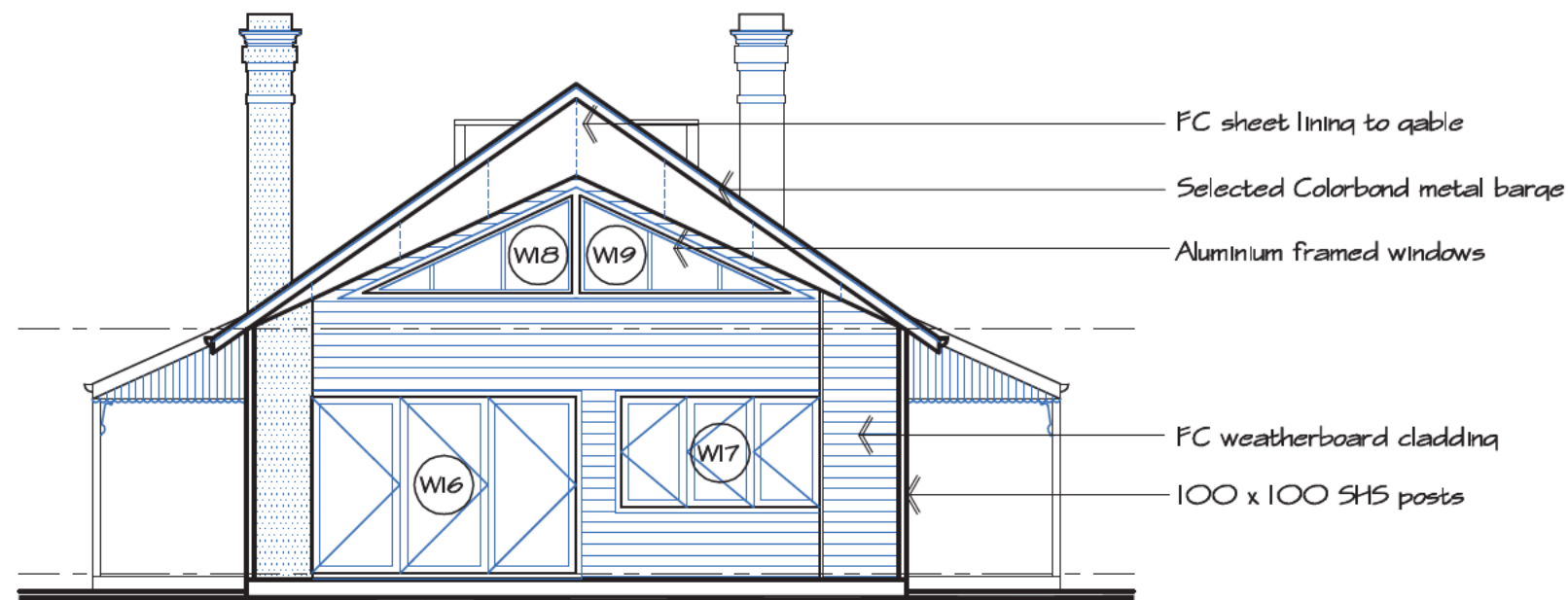
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CHECKED	GJC

**Proposed Extension
 L & A Coles
 72 Sturt Street Howlong NSW
 ELEVATIONS**

DP-AD 512	
ISSUE	F
JOB No	2406
SHEET No	07



north elevation



east elevation

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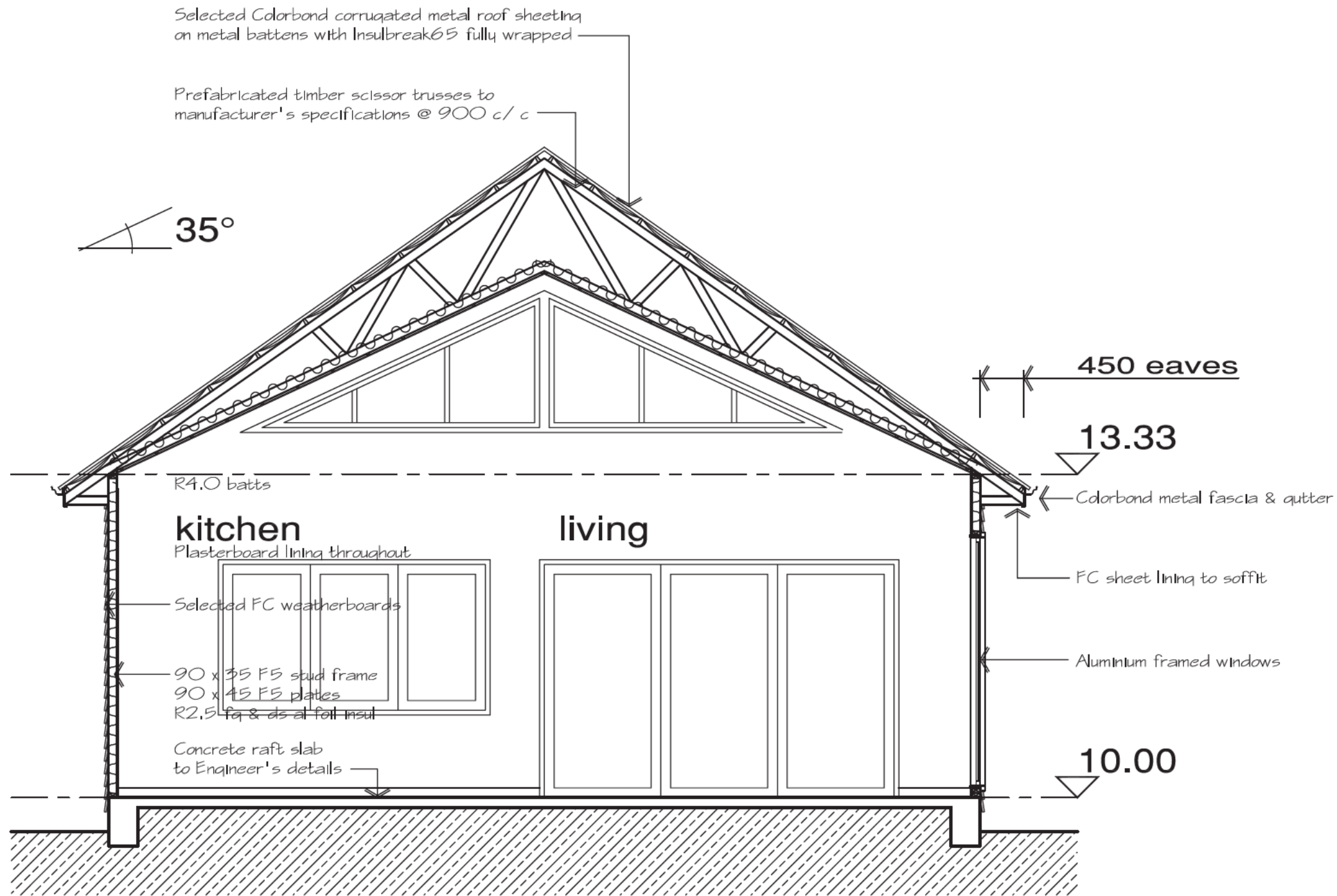


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YACKANDANDAH VIC 3749
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SCALE	1:100
DATE	11.09.24
DRAWN	BCC
CHECKED	GJC

Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
ELEVATIONS

DP-AD 512	
ISSUE	E
JOB No	2406
SHEET No	08



section 01
AO6

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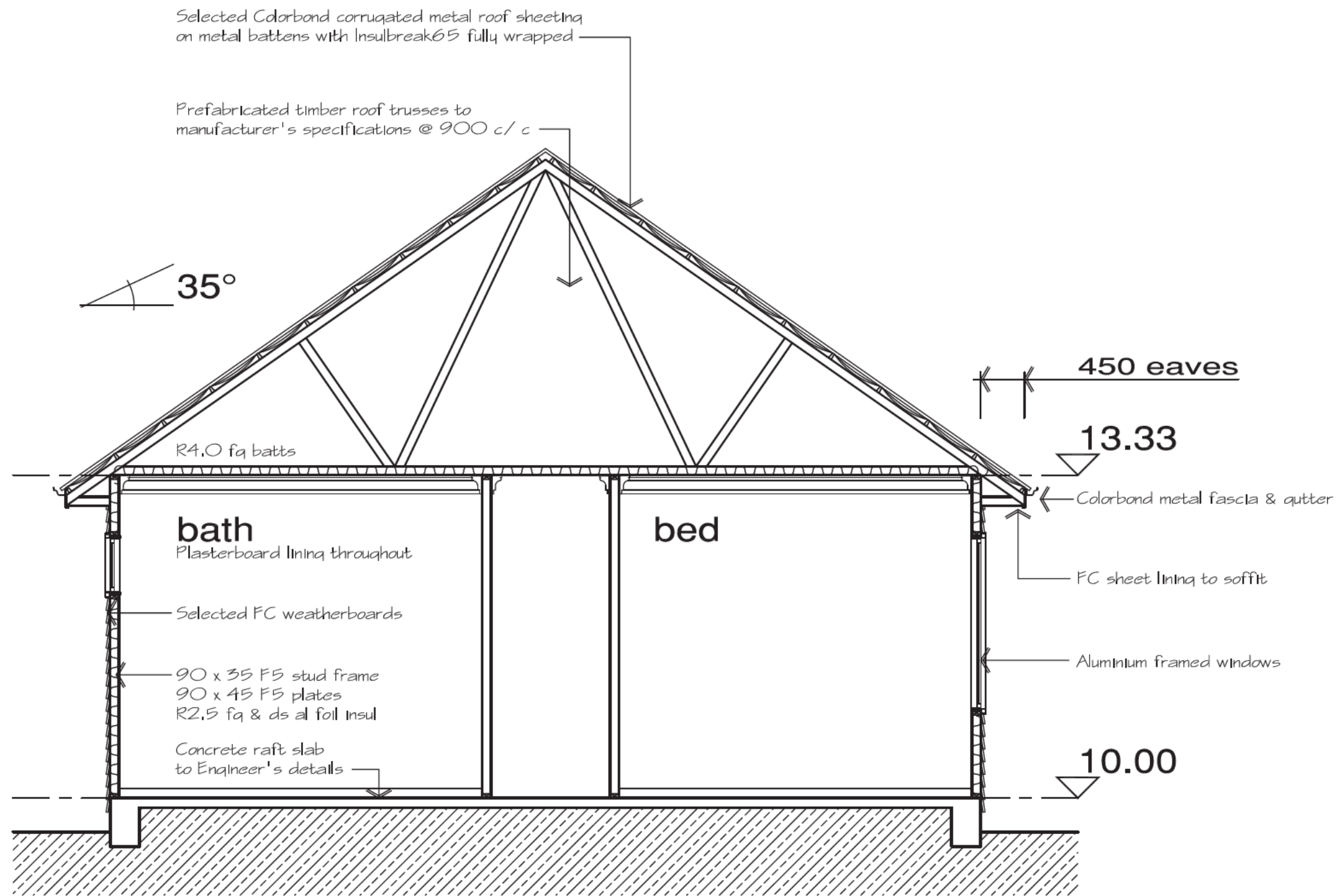


6 TURNABLE LANE
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SCALE	1:50
DATE	02.09.24
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CHECKED	GJC

Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
SECTION

DP-AD 512
ISSUE B
JOB No 2406
SHEET No 09



section 02
106

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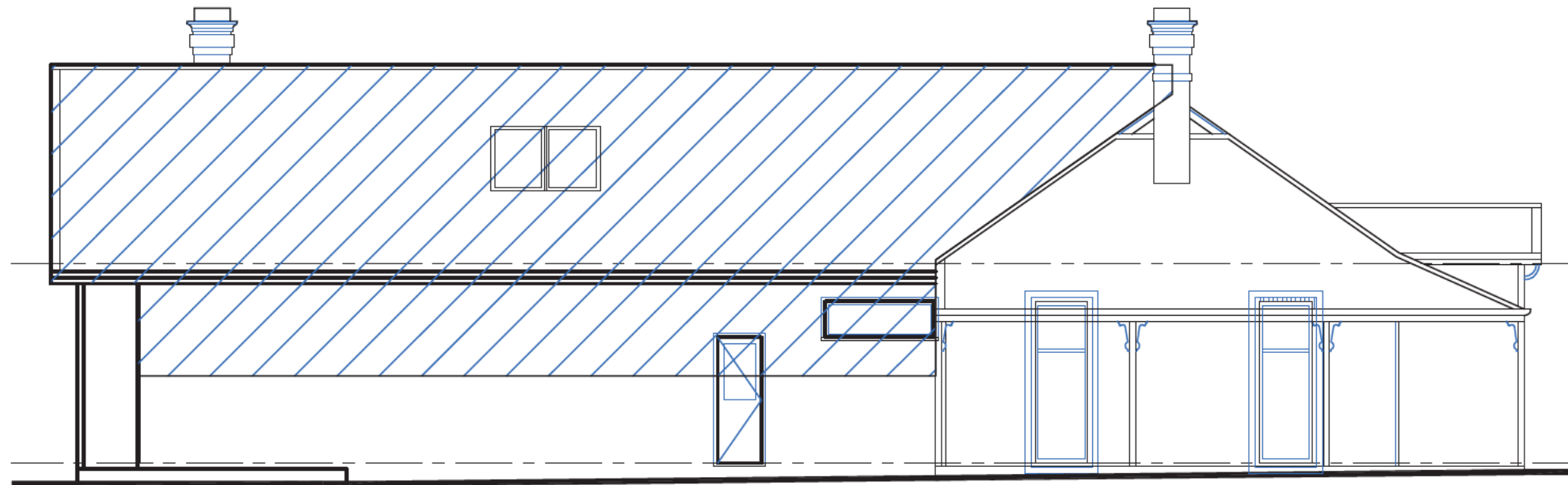


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YACKANDANDAH VIC 3749
PH 0438 623 462
E JAZTEK@BIGPOND.COM
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DATE	26.08.24
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CHECKED	GJC

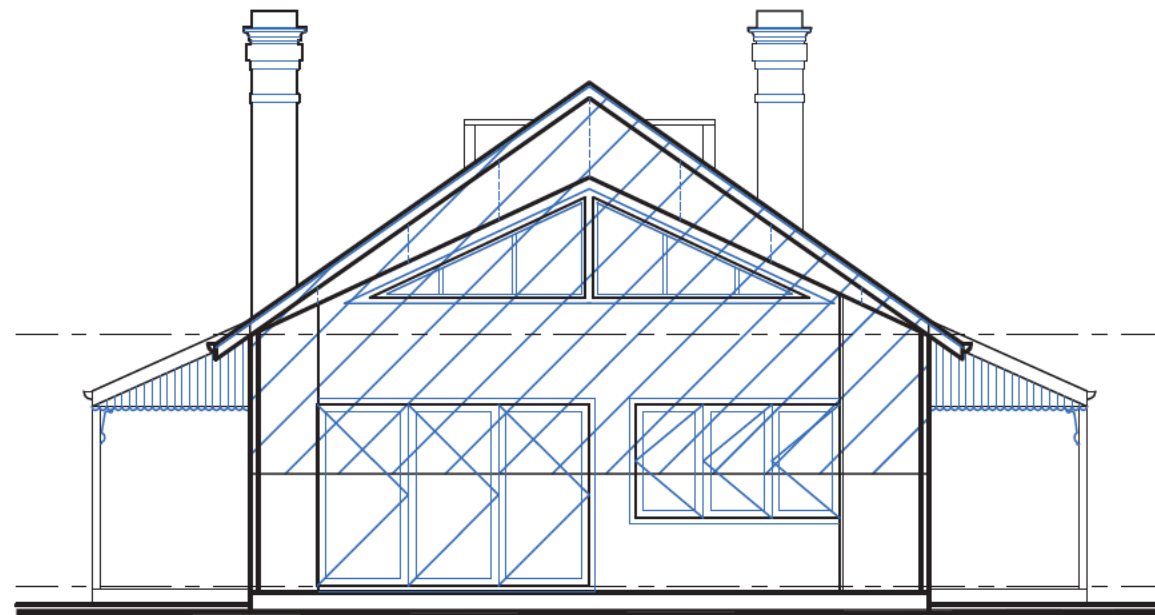
Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
SECTION

DP-AD 512
ISSUE A
JOB No 2406
SHEET No 10



north elevation

Wind Direction 1
80.07 m2



east elevation

Wind Direction 2
32.33 m2

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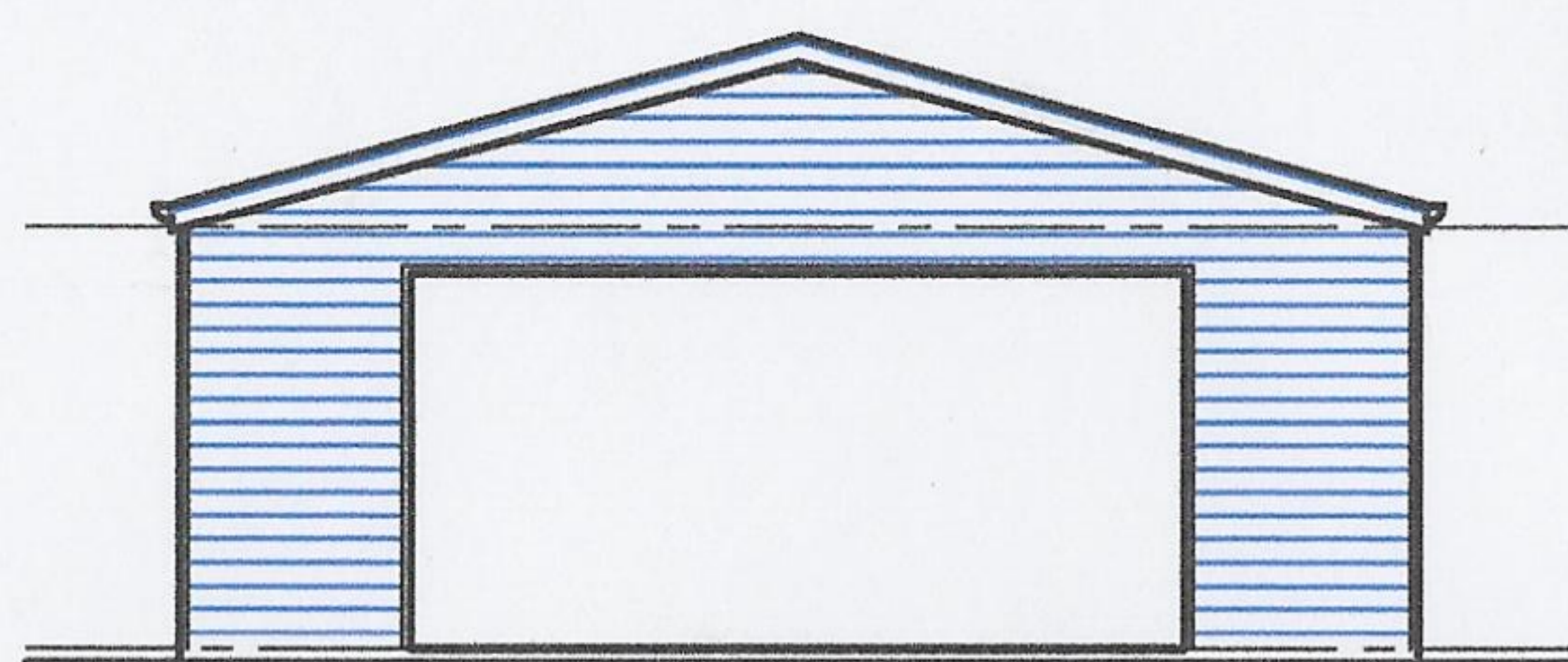


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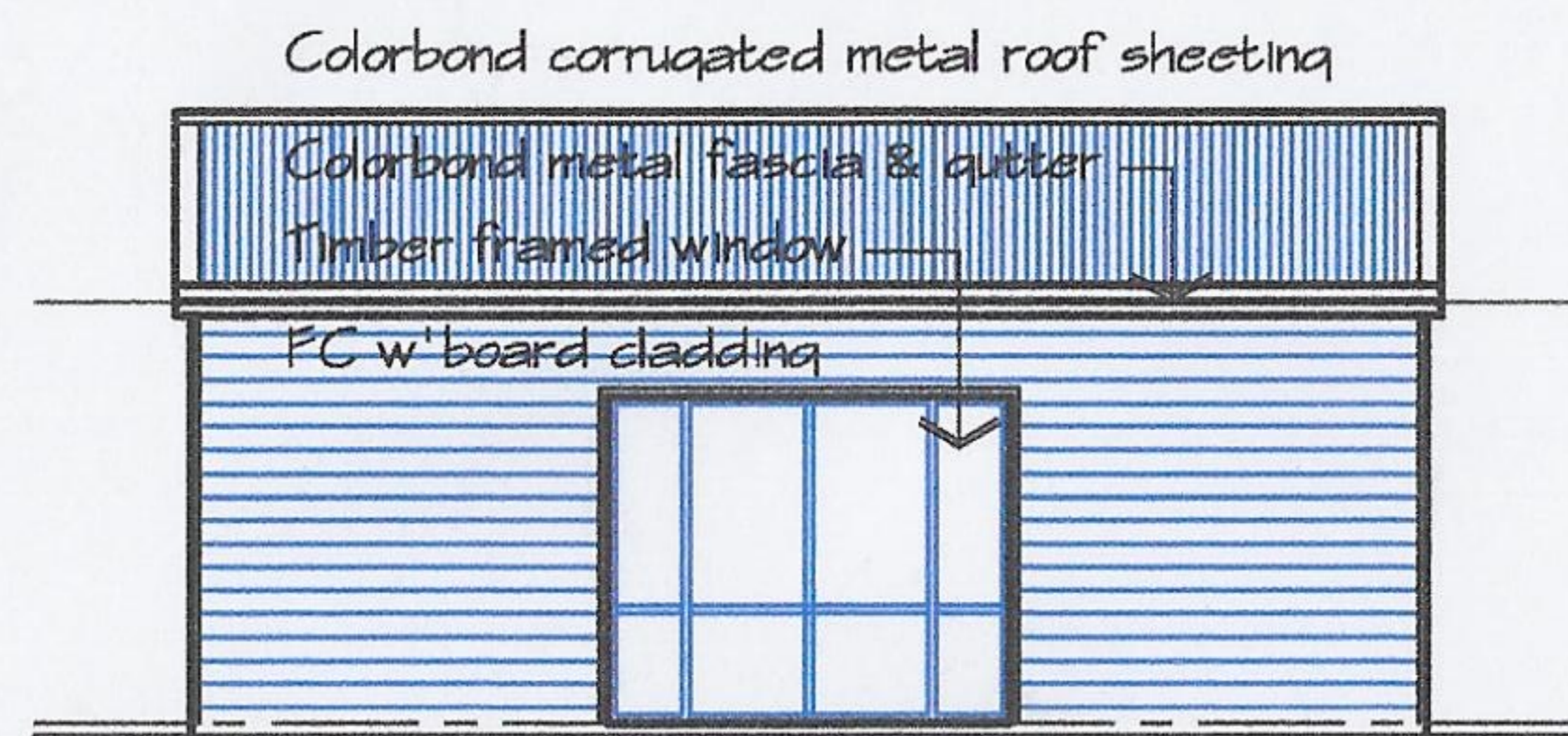
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DRAWN	BCC
CHECKED	GJC

Proposed Extension
L & A Coles
72 Sturt Street Howlong NSW
BRACING ELEVATIONS

DP-AD 512
ISSUE C
JOB No 2406
SHEET No 14



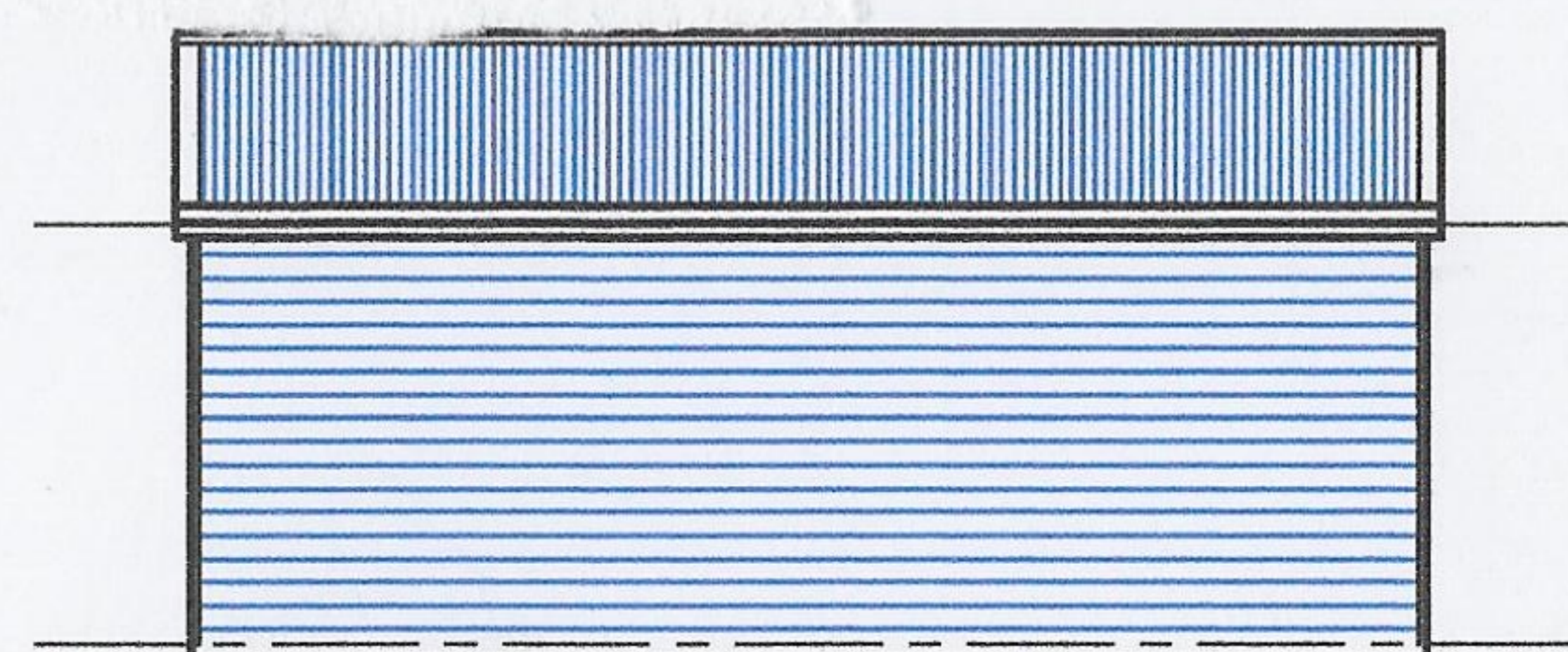
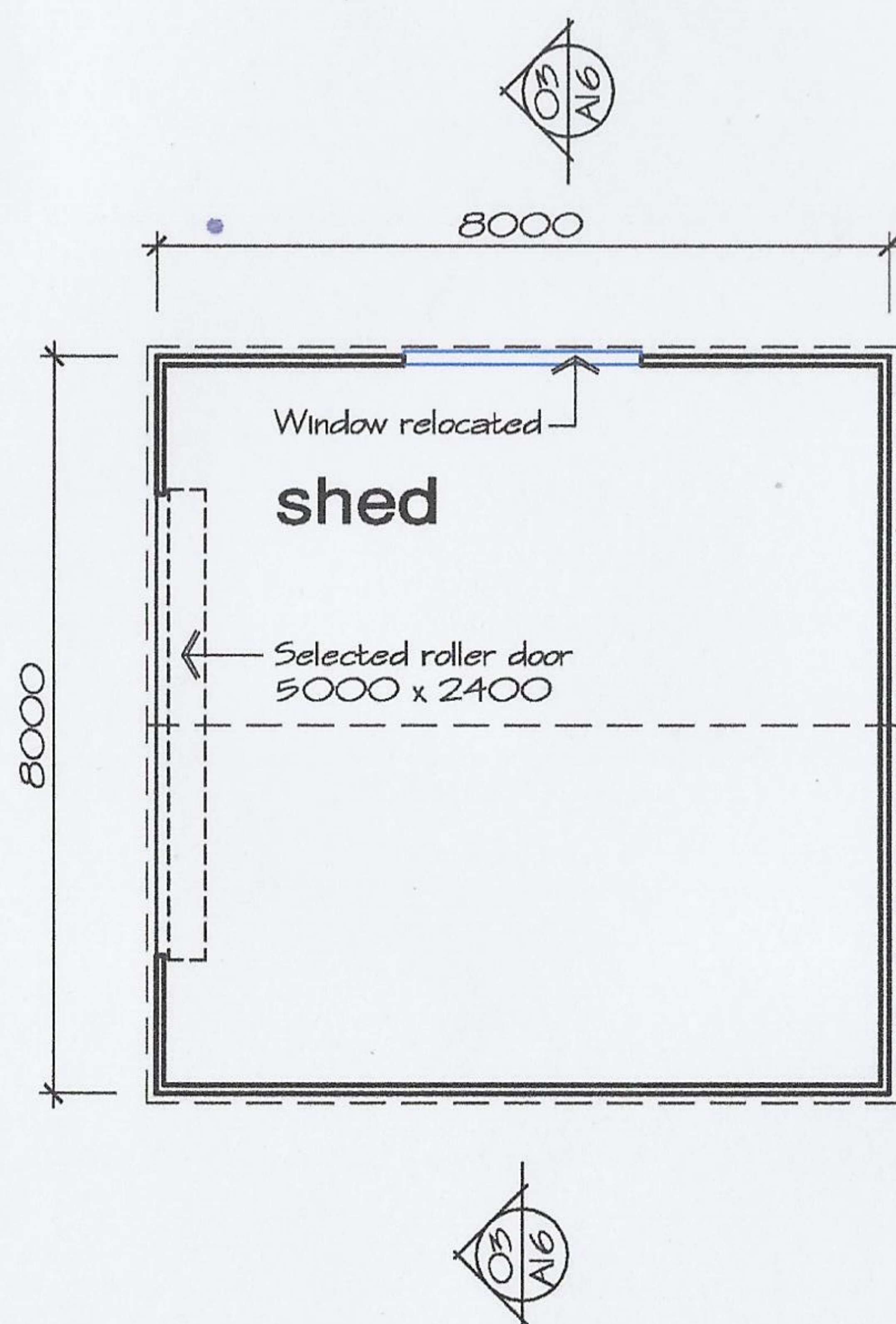
WEST elevation



NORTH elevation



EAST elevation

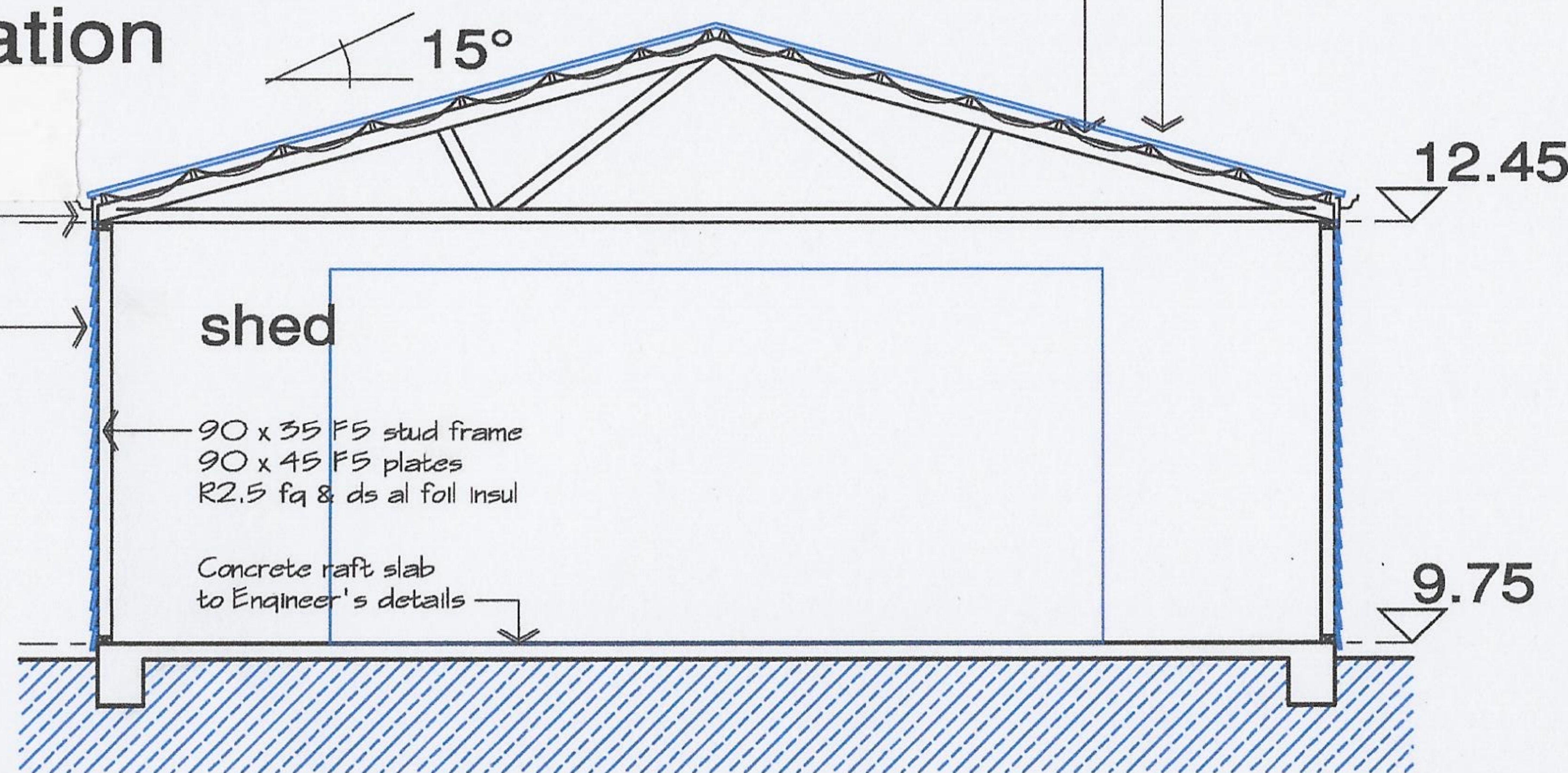


south elevation
SOUTH

Colorbond metal fascia & gutter
FC weatherboard cladding

section O3/A16

Selected Colorbond corrugated metal roof sheeting on metal battens with Insulbreak 65 fully wrapped
Prefabricated timber roof trusses to manufacturer's specifications @ 900 c/c



Request to vary the Development Control Plan

Corowa Shire Development Control Plan 2013
Urana Shire Development Control Plan 2011

Federation Council
100 Edward Street
Corowa NSW 2646
Phone: 02 60338999

Email: council@federationcouncil.nsw.gov.au

This request is to accompany a development application lodged with Council where the development does not meet the development control(s) contained with the Corowa Shire Development Control Plan 2013 (CDCP 2013), and a variation to such control(s) is sought.

Council will consider variations to the development controls set out in the DCP where a proposed development can otherwise demonstrate that it achieves the applicable planning objectives. Council will consider variations to the DCP provisions as set out below:

- a.** Where a proposal does not comply with a particular development control, applicants may propose an alternative solution. In some circumstances, variations can produce improved and innovative solutions for particular site. **b.** A written variation request must:
1. Identify the development control that is to be varied and detail the extent of variation proposed;
 2. Identify the general and/or specific objectives of that control and how the variation complies with the objectives;
 3. Justify why the specific provisions of the policy do not make appropriate provisions with regard to the subject application; and
 4. Demonstrate why compliance with the provisions of this DCP is unreasonable or unnecessary in the particular circumstances of the case.

Note: Variations to a development control(s) will only be considered where the specific development objective can be met.

Link to DCP: <https://www.federationcouncil.nsw.gov.au/Building-Planning/Zoning-Policies/Development-Control-Plans>

Date: 12.02.2025	Content Manager Number:
DA No:	
APPLICANT DETAILS	
Applicant/s Name - Luke & Ashley Coles	
Address - [REDACTED]	
Development Description & DA number: PAN-486735	
VARIATION	
Description of variation, stating why it is considered onerous or unreasonable to comply	
List specific standards: eg Vary Minimum Lot Width– Chapter 2 -2.17 "Subdivision Standards Minimum Lot Widths	
We feel as though we are unable to comply with the rear setback of 15m due to the positioning of our home within our block, we feel as though a rear setback of 10.78 is very reasonable and don't feel as though this will have any negative impacts at all.	
EXTENT	
Provide details of the extent of variation	
i.e. what is the non-compliance? Is it minor or extensive? Percentage of variation between your proposal and the development control	
We are asking for the allowance of a 10.780m rear setback opposed to 15m rear setback due to the positioning of our existing home within our block. We understand that this may be considered an extensive variation, however strongly feel this is very reasonable.	

STATEMENT OF IMPACTS
1. Likely effect on adjoining owners (eg views to and from the lands, overshadowing, privacy, noise, drainage etc)
We feel as though this will not impact any of our adjoining neighbours, we've had conversations with them regarding our proposed plans and intentions within the property and have not had any negative feedback, this should also be reflective from our recent advertising period and having no objections to the proposed plans.
2. Compatibility with streetscape?
The proposed plans follow the original building height and roofline.
3. How are the objectives/principles of the DCP satisfied by allowing this variation?
We believe that a rear setback of 10.780m is more than sufficient, we don't feel that this will have any negative impact whatsoever and feel as though our proposed plans are well within reason.
4. Any other considerations?
N/A

JUSTIFICATION
Please provide justification/reasoning as to why the development control(s) does not make specific provision in relation to your proposal or does not enable you to achieve the outcome you are seeking?
We feel as though when putting together our architectural plans we very much thought of the space we were working with and carefully considered the locations for the proposed area. Due to the location of the current house and the positioning within our block we are limited as to the location of our proposed extension. We purchased our home due to its age and character however many older homes unfortunately don't come with many of the comforts we see in homes today. Hence the proposed plan to add an open plan living/dining/kitchen inside and an alfresco to follow. This is a space that will be greatly utilised by our family and will be such a loss if we cannot proceed. We hope that you take into consideration that we have had many setbacks during our process with constraints within our block and have moved and compromised on many other aspects. This unfortunately is something we can not move. We appreciate the consideration and hope for a positive outcome.

Other
Please provide any other considerations

Applicant's Signature: Luke & Ashley Coles Date: 12.02.2025

Request to vary the Development Control Plan

Corowa Shire Development Control Plan 2013
Urana Shire Development Control Plan 2011

Federation Council
100 Edward Street
Corowa NSW 2646
Phone: 02 60338999

Email: council@federationcouncil.nsw.gov.au

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- a.** Where a proposal does not comply with a particular development control, applicants may propose an alternative solution. In some circumstances, variations can produce improved and innovative solutions for particular site. **b.** A written variation request must:
1. Identify the development control that is to be varied and detail the extent of variation proposed;
 2. Identify the general and/or specific objectives of that control and how the variation complies with the objectives;
 3. Justify why the specific provisions of the policy do not make appropriate provisions with regard to the subject application; and
 4. Demonstrate why compliance with the provisions of this DCP is unreasonable or unnecessary in the particular circumstances of the case.

Note: Variations to a development control(s) will only be considered where the specific development objective can be met.

Link to DCP: <https://www.federationcouncil.nsw.gov.au/Building-Planning/Zoning-Policies/Development-Control-Plans>

Date: 12.02.2025	Content Manager Number:
DA No:	
APPLICANT DETAILS	
Applicant/s Name - Luke & Ashley Coles	
Address – 72 Sturt Street, Howlong NSW 2643	
Development Description & DA number: PAN-486735	
VARIATION	
Description of variation, stating why it is considered onerous or unreasonable to comply	
List specific standards: eg Vary Minimum Lot Width– Chapter 2 -2.17 "Subdivision Standards Minimum Lot Widths	
We are willing to comply and compromise on the height of the garage, as per the architectural plans we were wanting to mimic the pitch of the roofline on the existing house/extension which is at a height of 5.785m We however understand that being in close proximity to the fence line we are willing to drop the height to 4.098m which will match the shed we have just had approved and are in the process of having built.	
EXTENT	
Provide details of the extent of variation	
i.e. what is the non-compliance? Is it minor or extensive? Percentage of variation between your proposal and the development control	
We understand that this is still non-compliant with the acceptable height being 3.9m, however would appreciate the consideration of the slight increase of .198 to still have some similarity within our heights.	

STATEMENT OF IMPACTS
1. Likely effect on adjoining owners (eg views to and from the lands, overshadowing, privacy, noise, drainage etc)
We don't see there being any impact on adjoining owners as the variation we are asking for is minimal, this should also be reflective from our recent advertising period and having no objections to the previous plans.
2. Compatibility with streetscape?
We are asking for the height allowance of 4.098m which will exactly match the height of the shed we have just had approval for, therefore creating a cohesive roofline within our property.
3. How are the objectives/principles of the DCP satisfied by allowing this variation?
We believe that the we are asking for a minimal increase in height to allow us to have cohesion with our previously approved shed, we have understood that our previously proposed plans may have had an impact on our adjoining owners and have willingly decreased the height to comply.
4. Any other considerations?
N/A

JUSTIFICATION
Please provide justification/reasoning as to why the development control(s) does not make specific provision in relation to your proposal or does not enable you to achieve the outcome you are seeking?
The outcome we were hoping for would be to keep the original height as per the architectural plans but after consideration understand that this does not comply and would like for a slight height increase to be considered so that we can have some similarity with the heights within our property.

Other
Please provide any other considerations

Applicant's Signature: Luke & Ashley Coles Date: 12.02.2025



STATEMENT OF ENVIRONMENTAL EFFECTS - SMALL SCALE RESIDENTIAL AND CHANGE OF USE

Standard form for minor developments only.

A COMPLETED STATEMENT OF ENVIRONMENTAL EFFECTS (SEE) IS REQUIRED TO ACCOMPANY ALL DEVELOPMENT APPLICATIONS EXCEPT INTERGRATED DEVELOPMENTS WHICH REQUIRE AN ENVIRONMENTAL IMPACT STATEMENT (EIS).

ABOUT THIS FORM: This SEE template is designed to form an attachment to the Development Application. It can only be used for the following development types:

- ✓ Dwellings, single storey in the R1, R2, RU1, RU5 and R5 zones.
- ✓ Single shops or commercial premises in the B1, B2 & B6 zones*
- ✓ Residential alterations and additions
- ✓ Ancillary residential buildings and structures such as, verandahs, carports, garages, sheds, pergolas, swimming pools.

* Please note that a heritage impact statement is required for all premises within the Heritage Conservation area. This will be required for the majority of developments in the commercial precinct of Corowa.

Developments not listed above may require a SEE with greater detail. Please contact Council for further information.

The SEE must address all impacts that are relevant to your proposal, with comment on how the development will control or mitigate the impact. No matter how minor the impact, please advise Council in this document.

Failure to provide the requested items will delay processing of the development application and may result in the application being returned to you for completion or you receiving an additional information request from Council.

APPLICATION DETAILS

Applicant: Luke Coles & Ashley ~~Paul~~ Coles

APPLICANT'S DECLARATION: I/we declare to the best of my/our knowledge and belief, that the particulars stated on this document are correct in every detail and that the information required has been supplied. I/we acknowledge that the development application may be returned to me if information is found to be missing or inadequate.

Applicant Signature: C. Coles Date: 14-1-2025

PROPERTY DETAILS

Property Name: _____

Unit/House No.: 72 Street Name: sturt

Town: _____ Postcode: 2643

Lot: 1 Section: 31 DP/SP: DP 758528

PROPOSED DEVELOPMENT

Where applicable include a description of matters such as proposed buildings, proposed building materials, nominated colour scheme. Nature of use, staging of the development, details of any demolition and other works to be carried out in site.

Construction of extension to existing house with garage

PLANNING CONTROLS

- Is your proposal permissible in the zone under Corowa LEP 2012 / Urana LEP 2011 YES NO
- Is your proposal consistent with the zone objectives? YES NO
- Is your proposal in accordance with Corowa DCP 2013 / Urana DCP 2011 YES NO

NOTE: If you answered no to any of the above questions please discuss your application with Council staff.

Are there any other planning controls relevant to your proposal YES NO

If yes, please list controls and how the application complies: _____

DESCRIPTION OF SITE

Include where applicable a description of the physical features of the site such as shape, slope, vegetation, waterways.

The site is a rectangle block with a light grade sloping from west to east. Clean site with minimal vegetation.

What is the present use and previous use(s) of the site?

present use of site is a residential property. Previous use is residential property.

Is the development site subject to any of the following natural hazards?

- Bushfire Prone YES NO
- Flooding YES NO
- Storm water inundation YES NO

NOTE: If the site is identified as Bushfire Prone it will be necessary to address the Planning for Bushfire Protection Guidelines. For further information please consult the NSW Rural Fire Service website www.rfs.nsw.gov.au

How will you mitigate the impact of the natural hazards for this development?

Construct floors in accordance to the AHD. Install appropriate surface water & storm water collection and drainage.

Is the site constrained by any of the following? (Please refer to LEP Maps)

- Terrestrial biodiversity YES NO
- Riparian Land and Watercourses YES NO
- Groundwater vulnerability YES NO
- Wetlands YES NO
- Item of Environmental Heritage or in conservation area * YES NO

How will you mitigate the impact of the development on these constraints?

*Note a Heritage Impact statement may be required. Please discuss with Council

What types of land use and development exist on the surrounding land?

Residential

CONTEXT AND SETTING – WILL THE DEVELOPMENT BE

- Visually prominent in the surrounding area? YES NO
- Inconsistent with the existing streetscape? YES NO
- Out of Character with the surrounding area? YES NO
- Inconsistent with surrounding land uses? YES NO
- Vary a building line setback YES NO

If you answered yes to any of the above please provide details and justification for the proposal?

FLORA AND FAUNA – FOR THREATENED SPECIES PLEASE VISIT www.threatenedspecies.nsw.gov.au

Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO

Will the development result in the removal of any native vegetation from the site? YES NO

Is the development likely to have any impact on threatened species or native habitat? YES NO

If the answer is yes to either of the above questions it may be necessary to have a formal seven part test completed to assess the impact on threatened species – please contact Council for further information.

Comments _____

WASTE AND STORMWATER DISPOSAL

How will effluent be disposed of Sewer Septic

Will liquid trade waste be discharged to Council's sewer? YES NO

Will the Development result in any hazardous waste or other waste disposal issue? YES NO

How will stormwater (from roof and hard standing areas) be disposed of? Council System Other (Provide Details)

Details: _____

Have all potential overland stormwater risks been considered in the design of the development? YES NO

Comments _____

SOCIAL AND ECONOMIC IMPACTS

Will the proposal have any economic or social consequences in the area? YES NO

Has the development addressed safety, security or crime prevention issues? YES NO

Comments _____

OTHER RELEVANT MATTERS

Are there any other matters for consideration that you are aware of as developer?

No



PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space etc? YES NO
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? YES NO
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners, pump, bedroom and living room windows etc? YES NO
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks, road or footpaths? YES NO

If yes, please provide details of issue. Some issues will require plans, i.e. overshadowing.

ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development? YES NO
- Will the development increase traffic movements/volumes? YES NO
- If Yes by how much and what types of Vehicles?
- Are additional access points to a road network required? YES NO
- Has vehicle maneuvering and onsite parking been addressed in the design? YES NO
- Is power, water, electricity, sewer and telecommunication service readily available to the site? YES NO
- Comments _____
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-

ENVIRONMENTAL IMPACTS

- Is the development likely to result in any form of air pollution (smoke, dust odours etc?) YES NO
- Does the development have the potential to result in any form of water pollution (i.e. sediment from runoff)? YES NO
- Will the development have any noise impacts above background noise levels? (i.e. air conditioner units, pool pumps)? YES NO
- Does the development involve any significant excavation or filling? YES NO
- Could the development cause erosion or sediment runoff (including during construction)? YES NO
- Is there a likelihood of the development resulting in site contamination? YES NO
- Is the development considered to be environmentally sustainable (including provisions of BASIX certificate where required)? YES NO
- Is the development situated in a heritage conservation area or likely to have an impact on any heritage item or item of cultural significance? YES NO
- Is the development likely to disturb any aboriginal artifacts or relics? YES NO
- Comments _____
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