

Applicant contact details

Title	Mr
First given name	Will
Other given name/s	
Family name	McBurnie
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	Yes
ABN	48095458503
ACN	095458503
Name	MCBURNIE GROUP PTY LTD
Trading name	MCBURNIE GROUP PTY LTD
Is the nominated company the applicant for this application	Yes

Owner/s of the development site

Owner/s of the development site	There are one or more owners of the development site and the applicant is NOT one of them
Owner #	1
Title	Mr
First given name	IAN
Other given name/s	
Family name	COOKSEY
Contact number	
Email	[REDACTED]
Address	[REDACTED]
Owner #	2
Title	Mrs
First given name	KYLIE
Other given name/s	
Family name	COOKSEY
Contact number	
Email	[REDACTED]
Address	[REDACTED]

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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Developer details

ABN	48095458503
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ACN	095458503
Name	MCBURNIE GROUP PTY LTD
Trading name	MCBURNIE GROUP PTY LTD
Address	
Email Address	WILL@FDBUILDS.NET.AU

Development details

Application type	Development Application
Site address #	1
Street address	20 DEFENCE DRIVE MULWALA 2647
Local government area	FEDERATION
Lot / Section Number / Plan	20/-/DP1116482 <input checked="" type="checkbox"/>
Primary address?	Yes
Planning controls affecting property	<p>Land Application LEP Corowa Local Environmental Plan 2012</p> <p>Land Zoning E4: General Industrial</p> <p>Height of Building 9 m</p> <p>Floor Space Ratio (n:1) NA</p> <p>Minimum Lot Size NA</p> <p>Heritage NA</p> <p>Land Reservation Acquisition NA</p> <p>Foreshore Building Line NA</p>

Proposed development

Selected common application types	Erection of a new structure
Selected development types	General industry Industrial Development
Description of development	CONSTRUCTION OF SECOND BUILDING ON PROPERTY
Provide the proposed hours of operation	
Proposed to operate 24 hours on Monday	
Monday	-
Proposed to operate 24 hours on Tuesday	
Tuesday	-
Proposed to operate 24 hours on Wednesday	
Wednesday	-
Proposed to operate 24 hours on Thursday	
Thursday	-
Proposed to operate 24 hours on Friday	
Friday	-
Proposed to operate 24 hours on Saturday	
Saturday	-
Proposed to operate 24 hours on Sunday	
Sunday	-
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	

Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	0
Existing gross floor area (m2)	200
Proposed gross floor area (m2)	200
Total site area (m2)	1,954
Total net lettable area (m2)	1,554
What is the estimated development cost, including GST?	\$85,644.00
Estimated development cost	\$85,644.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of additional jobs that are proposed to be generated through the operation of the development	
Number of staff/employees on the site	1

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	No
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	

Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	An alteration or addition with an Estimated Development Cost under \$10 million, or a new development with an Estimated Development Cost under \$5 million

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

Company Name	McBurnie Group Pty Ltd
ABN	██████████
ACN	██████████
Trading Name	FAIR DINKUM BUILDS YARRAWONGA
Email address	██████████
Billing address	██

Application documents

The following documents support the application.

Document type	Document file name
Other	GUTTER SIZE H01
Owner's consent	YRWG100656COOKSEY_Development_Application_Form YRWG100656COOKSEY_Federation_Council_Owners_Consent
Site Plans	20 Defence Drv DC-CC drawings 18-09-24
Statement of environmental effects	SEE - COOKSEY - 20 DEFENCE DRIVE MULWALA
Title Documentation / Certificate of Title	DP (11) Title (8)

Applicant declarations

I declare that all the information in my application and accompanying documents is , to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

STATEMENT OF ENVIRONMENTAL EFFECTS – SUPPORTING INFORMATION
CHANGE OF USE, OR NON COMPLEX COMMERCIAL OR INDUSTRIAL
 (Where minimal or minor scale building works are being carried out)

This guide is not applicable for complex and major scale developments or complex sites where additional information may be required.

DESCRIPTION OF DEVELOPMENT: Provide a clear description of the proposed development	
Property Address	20 DEFENCE DRIVE MULWALA NSW 2647
Proposed development (Type of business)	THE PROPOSED DEVELOPMENT IS FOR A SECOND CLASS 7B SHED TO BE CONSTRUCTED, TO BE USED AS STORAGE FOR OVERFLOW OF VEHICLES UNDERGOING COSMETIC RESTORATION & REPAIR, PRIMARILY TAKING PLACE IN THE EXISTING SHED.
Days and hours of operation	<input type="checkbox"/> Days of Operation MON-FRI _____ <input type="checkbox"/> Hours of Operation 8:00AM – 4:00PM _____
Number of Staff	1
Type of plant and/or machinery to be installed or stored in the building	THE BUILDING IS TO STORE VEHICLES AND VEHICLE COMPONENTS WHICH ARE UNDERGOING COSMETIC RESTORATION AND REPAIRS IN THE EXISTING SHED.
Describe any production processes may occur	N/A

<p>Type, size and quantity of goods to be:</p>	<p><input type="checkbox"/> stored 3-4 STANDARD ROAD VEHICLES _____</p> <p><input type="checkbox"/> manufactured _____</p> <p><input type="checkbox"/> transported _____</p>
<p>Access Detail the location of vehicular access to the site</p>	<p>VEHICLES TO ACCESS THE PROPERTY VIA DEFENCE DRIVE. A CROSS-OVER IS PRE-EXISTING.</p>
<p>Traffic Detail the type, nature and amount of traffic to be generated e.g., 6 per day (staff) and 10 / day (client), semi-trailer 1/week (incoming), 1 rigid/day (outgoing), deliveries</p>	<p>IT IS EXPECTED THAT 1 (STAFF) VEHICLE WOULD BE ACCESSING THE PREMISES DAILY. DEPENDING ON INCOMING AND OUTGOING VEHICLES, WHICH VARIES BASED ON THE REQUIRED WORKS, IT IS ANTICIPATED THAT 1-2 INCOMING/OUTGOING RIGID'S WILL ACCESS THE PROPERTY, BI-WEEKLY.</p>

Parking - Detail the amount and location of existing available on-site parking	6 STANDARD CARPARKS & 1 DISABLED CARPARK, EXISTING.
Signage Detail all signage (size, location and content, is it illuminated/), if not shown on plans)	NIL SIGNAGE.

SITE & LOCALITY DESCRIPTION: Provide information of the site and adjacent lands

Please ensure that the following details have been shown on your site plan, as a minimum;

- Site dimensions for entire allotment
- Site Area
- Scale
- North Point
- Easements
- Location of Services/Infrastructure in the property/adjoining properties/road reserve/easements etc.
- Proposed Buildings and proposed use/activity e.g., proposed shed for storage or proposed shed for trade workshop or combination of both etc.
- Existing Buildings and approved use or activity, if applicable
- Car Parking spaces including accessible carparking space and shared space (must comply with dimensions and line marking in AS2890.6:2009), existing and proposed carparking spaces,
- Vehicle maneuvering to demonstrate exit and entry from the site/development is in a forward direction
- Trees located on the site, adjoining lands and/or road reserve.

Issue	Details
Present use of the site	SITE IS CURRENTLY USED AS A SECONDARY LOCATION FOR COSMETIC RESTORATION & REPAIR OF VEHICLES, UNDER DARYL MILLER PANELS.

<p>Past use/s of the site</p>	<p>AS ABOVE.</p>
<p>Describe any existing built structures on the land (e.g. location, number, storeys, building material, current/activity use etc)</p>	<p>AN EXISTING CLASS 7B SHED IS LOCATED ON THE EASTERN END OF THE BLOCK.</p>
<p>Locality Characteristics – Adjacent Uses Describe the type and nature of adjacent uses, e.g.</p> <ul style="list-style-type: none"> • Residential, commercial, industrial; • Older or modern construction; • Height - Single or two storey; • Building materials; • Colours, • Density - Single dwelling houses or unit developments etc. 	<p>THE CHARACTERISTICS OF THE SURROUNDING LAND IS LIMITED TO INDUSTRIAL WAREHOUSING, ETC. THE VAST MAJORITY OF LAND HAS BEEN DEVELOPED, WITH MINIMAL REMAINING LOTS CURRENTLY UNDEVELOPED.</p>
<p>Locality Characteristics - Environment Describe the existing environment of the site e.g. slope, natural features, significant trees or vegetation, water courses, drainage lines etc</p>	<p>THE ENVIRONMENTAL CHARACTERISTICS OF THE SITE INCLUDE MINIMAL NATURAL VEGETATION BEYOND GRASS, ETC. THE SURROUNDS ARE NOT DIS-SIMILAR. THERE IS MINIMAL SLOPE IN THE AREA. THE GENERAL AREA DOES SLOPE TOWARDS THE SWALE DRAIN LOCATED TO THE WEST, AT THE REAR BOUNDARIES OF OPPOSING LOTS, SEPARATED BY DEFENCE DRIVE.</p>

ASSESSMENT OF LIKELY IMPACTS OF THE DEVELOPMENT

<p>Transport & Traffic – How will any likely traffic impacts associated with parking, loading and unloading etc. be managed?</p>	<p>THE PROPERTY CONTAINS ON-SITE PARKING, FOR PRE-EXISTING AND ONGOING BUSINESS OPERATIONS.</p>
<p>Heritage – How will any impact on the heritage item or the Heritage Conservation Area (HCA) be minimised (If Heritage Item, a Heritage Impact Statement (HIS) is required as additional information to support the assessment of the development application)</p>	<p>N/A</p>
<p>Water Requirements – detail the amount of water required, its purpose, the source, any treatment or reuse of water proposed and water saving measures proposed</p>	<p><input type="checkbox"/> amount 0 _____</p> <p><input type="checkbox"/> purpose NO WATER IS REQUIRED AS THIS SHED IS USED FOR STORAGE ONLY_</p> <p><input type="checkbox"/> treatment / reuse _____</p> <p><input type="checkbox"/> water saving measures _____</p>
<p>Sewer / liquid trade waste detail the method of effluent and liquid waste disposal e.g. on-site, reticulated sewerage system, the type and amount generated, and any pre-treatment proposed e.g. grease trap</p>	<p><input type="checkbox"/> disposal method N/A – THE PRE-EXISTING SHED IS THE ONLY SHED WITH THIS REQUIREMENT AND ESTABLISHED SERVICES. _____</p> <p><input type="checkbox"/> type _____</p> <p><input type="checkbox"/> amount _____</p> <p><input type="checkbox"/> pre-treatment _____</p>

<p>Waste generation detail the type and amount of waste to be produced, method of storage and disposal, including solids, liquids, gases and particulates</p>	<p><input type="checkbox"/> type NIL EXPECTED TRADE WASTE TO BE GENERATED FROM THIS PARTICULAR DEVELOPMENT AS ITS USE WILL BE FOR STORAGE VEHICLES UNDERGOING COSMETIC RESTORATION & REPAIRS THAT ARE TAKING PLACE IN THE PRE-EXISTING SHED ON THE PROPERTY. _____</p> <p><input type="checkbox"/> storage _____</p> <p><input type="checkbox"/> disposal _____</p>
<p>Noise detail all sources, type and level of noise generated, and how the noise will be controlled to prevent a nuisance</p>	<p><input type="checkbox"/> source and type DUE TO THIS DEVELOPMENT BEING FOR STORAGE ONLY, THE ONLY ANTICIPATED NOISE WILL BE THAT OF VEHICLES BEING MOVED IN AND OUT OF THE SHED FOR STORAGE PURPOSES. THE AUDIUBLE ASPECTS OF OPENING AND CLOSING ROLLER DOORS, PA DOORS, ETC. MAY ALSO BE A MINIMAL FACTOR. ___</p> <p><input type="checkbox"/> level _____</p> <p><input type="checkbox"/> control _____</p>
<p>Odour Detail the source and type of odour generated, and how the odour will be controlled to prevent a nuisance</p>	<p>N/A</p>
<p>Signage If proposing installation of signage please complete Signage Assessment sheet over page</p>	

Signage	
<p>Character of the area</p> <p>Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?</p> <p>Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Special areas</p> <p>Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
<p>Views and vistas</p> <p>Does the proposal obscure or compromise important views?</p> <p>Does the proposal dominate the skyline and reduce the quality of vistas? Does the proposal respect the viewing rights of other advertisers?</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Streetscape, setting or landscape</p> <p>Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?</p> <p>Does the proposal contribute to the visual interest of the streetscape, setting or landscape?</p> <p>Does the proposal reduce clutter by rationalising and simplifying existing advertising?</p> <p>Does the proposal screen unsightliness? Does the proposal protrude above buildings, structures or tree canopies in the area or locality?</p> <p>Does the proposal require ongoing vegetation management?</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>

<p>Site and building</p> <p>Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?</p> <p>Does the proposal respect important features of the site or building, or both?</p> <p>Does the proposal show innovation and imagination in its relationship to the site or building, or both?</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
<p>Associated devices and logos with advertisements and advertising structures</p> <p>Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
<p>Illumination</p> <p>Would illumination result in unacceptable glare?</p> <p>Would illumination affect safety for pedestrians, vehicles or aircraft?</p> <p>Would illumination detract from the amenity of any residence or other form of accommodation?</p> <p>Can the intensity of the illumination be adjusted, if necessary?</p> <p>Is the illumination subject to a curfew?</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>

ADDRESS: 20 Defence Dr, Mulwala, NSW 2647
 LOT & PLAN NUMBER: Lot 20 DP1116482
 PROPERTY No: 3069416
 LOCAL GOVERNMENT AREA: FEDERATION SHIRE
 LEP ZONE: E4 - GENERAL INDUSTRIAL (1953 sqm)

SHEET SCHEDULE	
01	SITE PLAN
02	FLOOR PLAN
03	ELEVATIONS

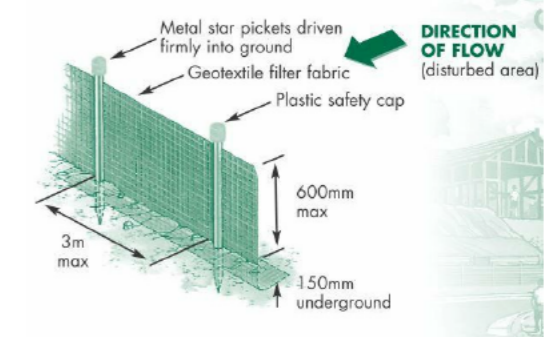
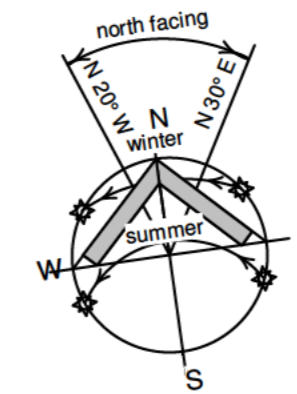
AREA SCHEDULE		
NAME	AREA	SQUARES
EXISTING SHED	227.07 m ²	24.44
PROPOSED SHED	199.80 m ²	21.51
Grand total	426.87 m ²	45.95



LOCALITY PLAN
1 : 1600

SEDIMENT CONTROL NOTES
1 : 100

- SITE WORKS ARE NOT TO START UNTIL EROSION & SEDIMENT CONTROLS ARE IN PLACE. INSTALL SEDIMENT FENCE(S) ALONG THE LOW SIDE OF THE SITE BEFORE WORK BEGINS. DIVERT WATER AROUND THE WORK SITE AND STABILISE CHANNELS, ENSURE NO FLOODING TO NEIGHBOURING PROPERTY. ESTABLISH A SINGLE STABILISED ENTRY/EXIT POINT. CLEARLY MARK THE ACCESS POINT AND GIVE AN ACCESS MAP THAT HAS A DELIVERY POINT INDICATED FOR ALL SUPPLIES. LEAVE OR LAY A KERB-SIDE TURF STRIP (FOR EXAMPLE, THE NATURE STRIP) TO SLOW THE SPEED OF WATER FLOWS AND TO TRAP SEDIMENT. CHECK THE EROSION AND SEDIMENT CONTROLS EVERY DAY AND KEEP IN GOOD WORKING CONDITION. ALL SEDIMENT CONTROLS TO BE CHECKED DAILY AND AFTER ALL RAIN EVENTS. ALL STRUCTURES/PITS TO BE CLEANED ON REACHING 50% STORAGE CAPACITY. STOCKPILE TOPSOIL WITHIN THE SEDIMENT CONTROLLED ZONE. STABILISE EXPOSED EARTH BANKS (E.G. VEGETATION, EROSION CONTROL MATS). FILL IN AND COMPACT ALL TRENCHES IMMEDIATELY AFTER SERVICES HAVE BEEN LAID. INSTALL SITE WASTE RECEPTACLES (MINI-SKIP, BINS, WIND-PROOF LITTER RECEPTORS). SWEEP THE ROAD AND FOOTPATH EVERY DAY AND PUT SOIL BEHIND THE SEDIMENT CONTROLS. HOSING DOWN ROADS AND FOOTPATHS IS UNACCEPTABLE. CONNECT DOWNPIPES FROM THE GUTTERING TO THE STORMWATER DRAIN AS SOON AS THE ROOF IS INSTALLED. REVEGETATE THE SITE AS SOON AS POSSIBLE. EROSION AND SEDIMENT CONTROL DEVICES MUST BE KEPT IN PLACE UNTIL 70% OF THE SITE HAS BEEN REVEGETATED.
- STABILISE THE ACCESS POINT WITH 200 MM OF AGGREGATE AT 30-60 MM IN SIZE THE ACCESS TO BE MINIMUM 3 METRES WIDE AND 8 METRES LONG. PROVIDED 200MM HIGH DIVERSION HUMP ACROSS ACCESS POINT STABILISED AREA AND DIRECT STORMWATER RUN-OFF TO THE SIDE WHERE IT CAN BE FILTERED BY A SEDIMENT FENCE AND RETENSION PIT.
- CONSTRUCTION NOTES
1. STRIP AT LEAST 150 MM OF TOPSOIL, LEVEL AREA AND STOCKPILE ON SITE IF SPACE AVAILABLE.
 2. COMPACT SUB-GRADE.
 3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
 4. CONSTRUCT A 200 MM THICK PAD OVER GEOTEXTILE USING AGGREGATE AT LEAST 40 MM IN SIZE.
 5. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO FOLLOW THE CONTOURS OF THE SITE.
 6. DRIVE 1.5 METRE LONG POSTS INTO GROUND, MAXIMUM 3 METRES APART.
 7. STAPLE TO 40 MM SQUARE HARDWOOD POSTS OR WIRE TIED TO STEEL POSTS.
 8. DIG A 150 MM DEEP TRENCH ALONG THE UP-SLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 9. BACKFILL TRENCH OVER BASE OF FABRIC AND COMPACT ON BOTH SIDES
 10. TRENCH SEDIMENT FENCE MIN LEAST 150 MM BELOW GROUND LEVEL.
 11. PROVIDE UPHILL RETURNS AT EITHER END OF SEDIMENT FENCE TO PREVENT SEDIMENT FLOWING AROUND.



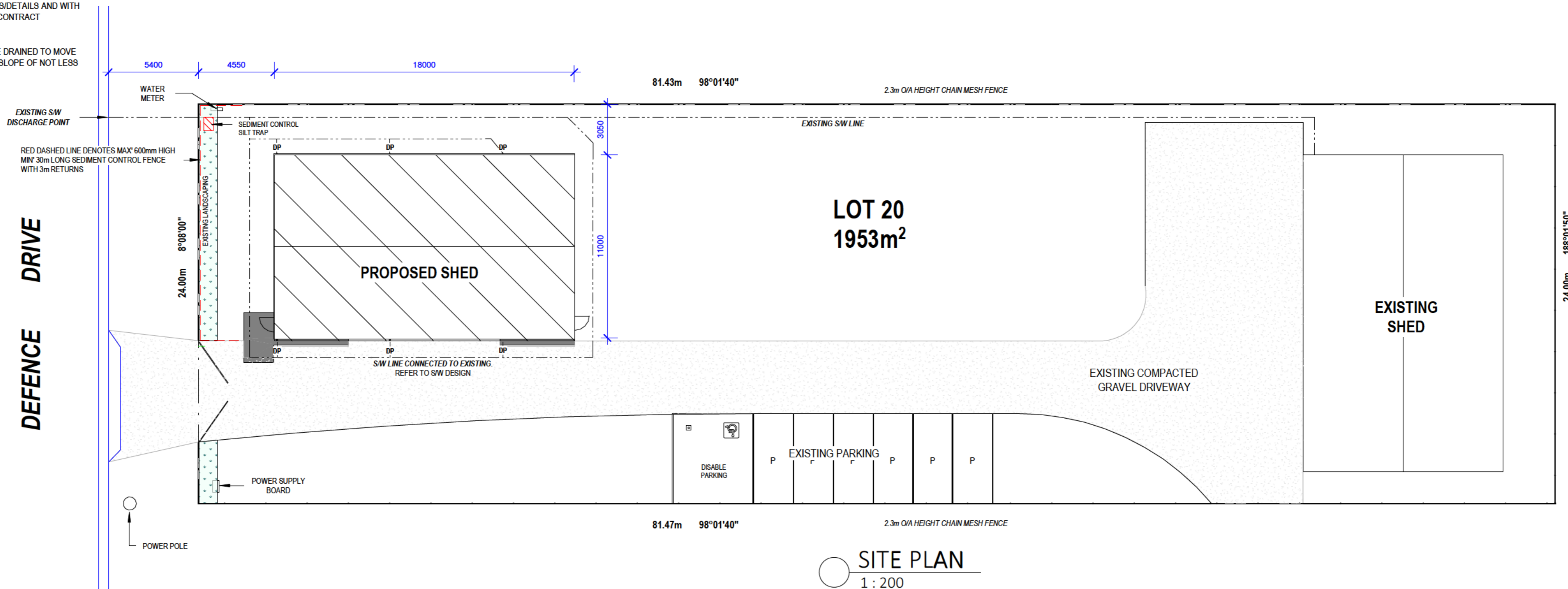
LEVELS NOTE:
ALL LEVELS ARE APPROXIMATE ONLY EXACT LEVELS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER

DIMENSIONS NOTE:
ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER DO NOT SCALE DRAWINGS

CONSULTANTS NOTE:
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL ENGINEER, CIVIL ENGINEER AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT

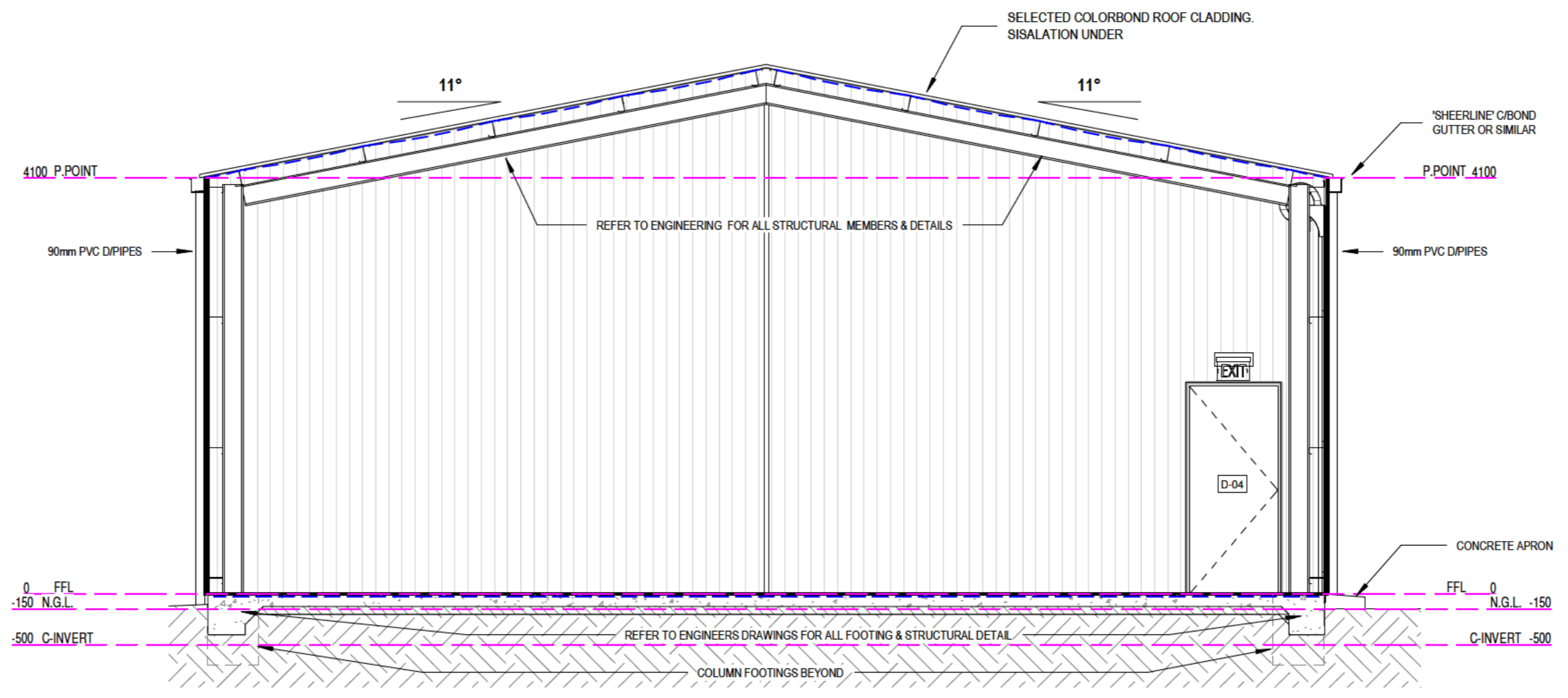
SURFACE DRAINAGE:
THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1m

COLOR SCHEME
 WALL CLADDING: BASALT
 ROOF CLADDING: BASALT
 FASCIA GUTTER: BASALT
 DOORS: BASALT

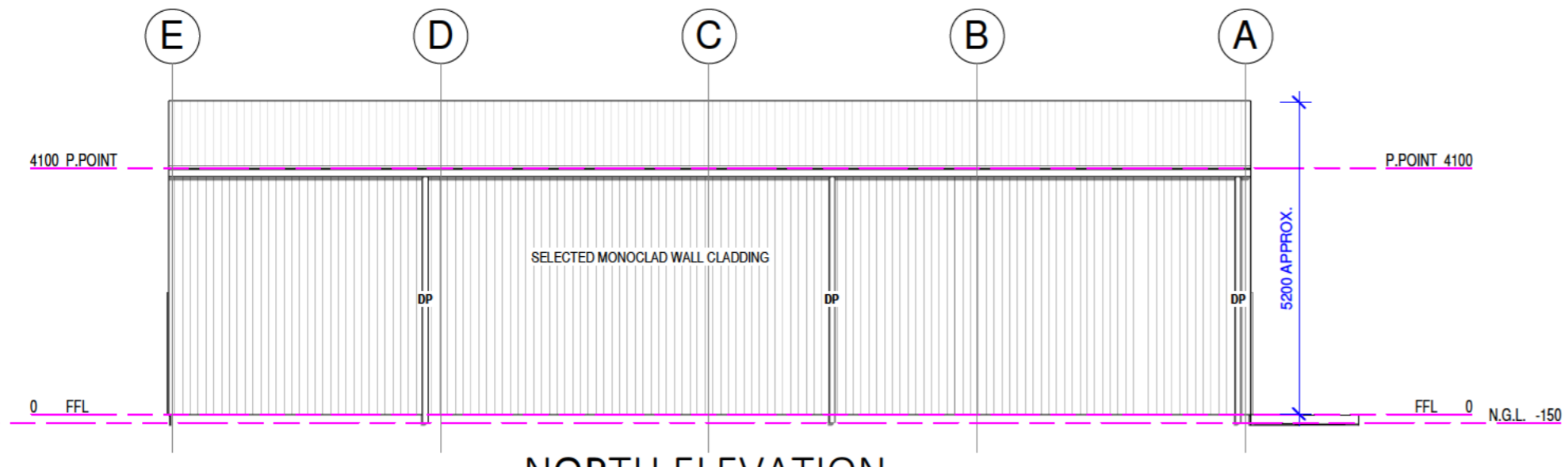


SITE PLAN
1 : 200

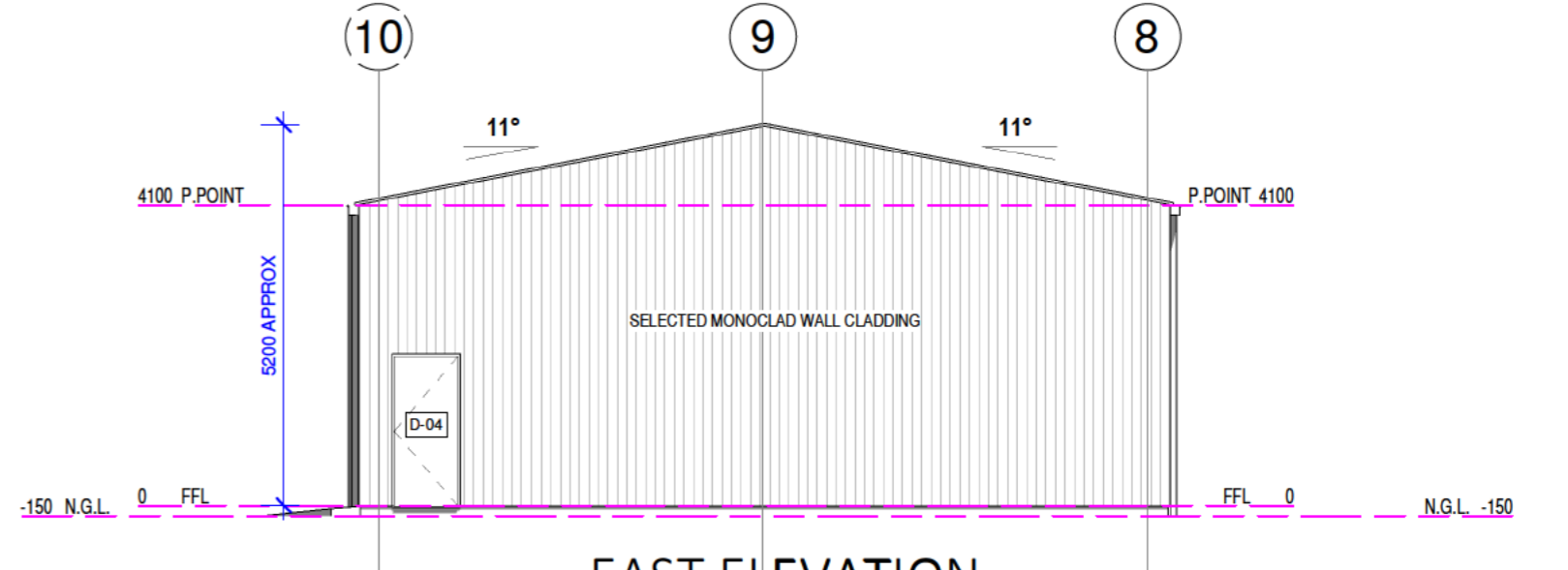
	12 ACACIA ST PO BOX 396 YARRAWONGA VIC 3730 PH: 03 5744 1111 ABN 48 095 457 503 Shane McBurnie 0419593592	Drafting by Richmond Design Group REGISTERED Building Practitioner DP-AD 39373	NOTE: DO NOT SCALE DRAWINGS ALL DIMENSIONS TO BE VARIFIED BY BUILDER ON SITE PRIOR TO ORDERING OF MATERIALS. ALL WORKS TO CONFORM TO NCC & ALL RELEVANT STANDARDS	PROPOSED WAREHOUSE Client: TO BE CONFIRMED Address: 20 Defence Dr, Mulwala, NSW 2647	SHEET NAME: SITE PLAN	REV:	DESCRIPTION	DATE	Copyright of these drawings are the property of Stephen Richmond Building Design & Consultancy The drawings & design may not be used or reproduced with out the expressed approval of the designer. A1 SHEET SIZE
					SHEET No: 01 Scale: As Shown	R1	CONCEPT DRAWINGS	28-08-24	
Date: 28/08/2024	R2	PRELIM' REVISION 01	00-00-24						
Project No: 27/24	R3	PRELIM' REVISION 02	00-00-24						
Drawn By: SAR Chk: SAR	R4	PRELIM' REVISION 03	00-00-24						
	R5	DA/CC DRAWINGS	18-09-24						



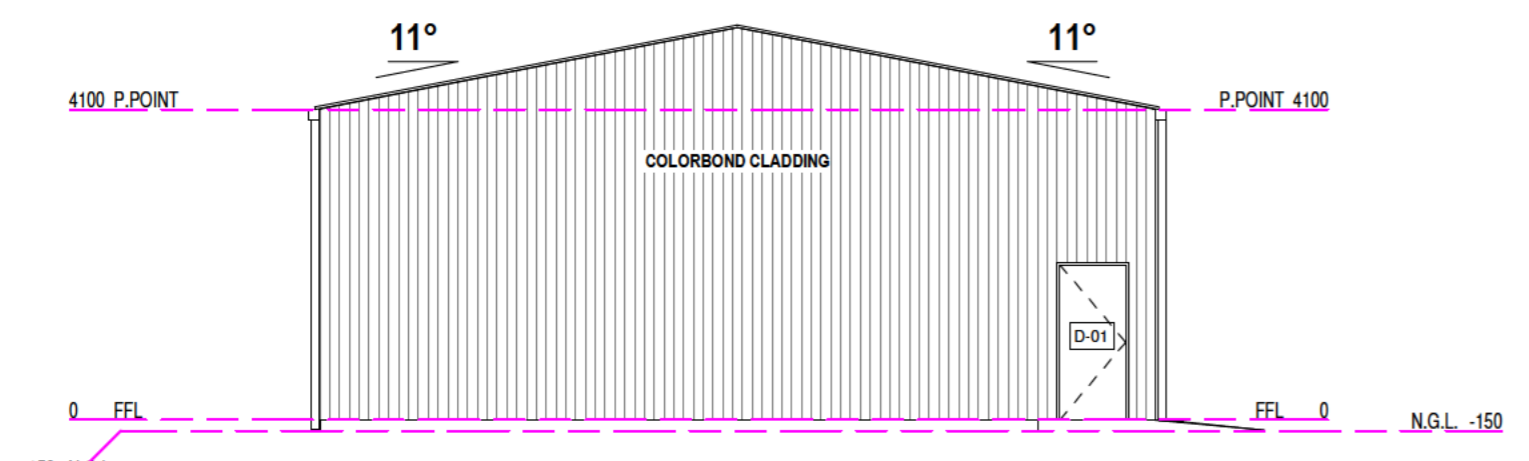
SECTION 01
1 : 50



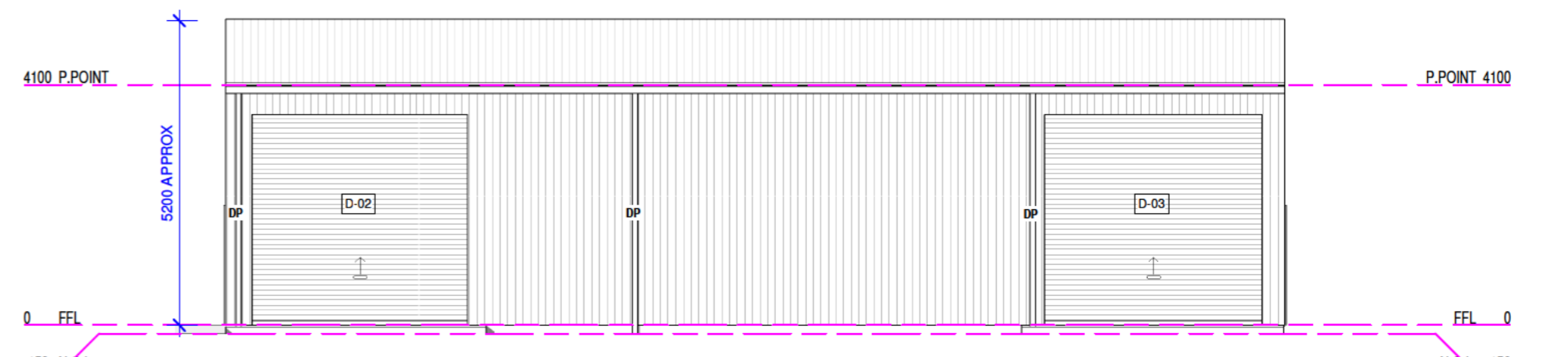
NORTH ELEVATION
1 : 100




EAST ELEVATION
1 : 100



WEST ELEVATION
1 : 100



SOUTH ELEVATION
1 : 100

	<p>12 ACACIA ST PO BOX 396 YARRAWONGA VIC 3730 PH: 03 5744 1111 ABN 48 095 457 503 Shane McBurnie 0419593592</p>	<p>Drafting by Richmond Design Group</p> <p>REGISTERED Building Practitioner</p> <p>DP-AD 39373</p>	<p>NOTE: DO NOT SCALE DRAWINGS ALL DIMENSIONS TO BE VARIFIED BY BUILDER ON SITE PRIOR TO ORDERING OF MATERIALS. ALL WORKS TO CONFORM TO NCC & ALL RELEVANT STANDARDS</p>	<p>PROPOSED WAREHOUSE Client: TO BE CONFIRMED Address: 20 Defence Dr, Mulwala, NSW 2647</p>	<p>SHEET NAME: ELEVATIONS</p>		REV:	DESCRIPTION	DATE	<p>Copyright of these drawings are the property of Stephen Richmond Building Design & Consultancy The drawings & design may not be used or reproduced without the expressed approval of the designer. A1 SHEET SIZE</p>
					SHEET No: 03	Scale: As Shown	R1	CONCEPT DRAWINGS	28-08-24	
Date: 28/08/2024		R2	PRELIM' REVISION 01	00-00-24						
Project No: 27/24		R3	PRELIM' REVISION 02	00-00-24						
Drawn By: SAR	Chk: SAR	R4	PRELIM' REVISION 03	00-00-24						
		R5	DA/CC DRAWINGS	18-09-24						